



GREENBELT STRUCTURAL SERVICES
A DIVISION OF TAHI LLC

Property Address: [REDACTED]

Client Name: [REDACTED]

Assessment Type: Residential

Inspection Date/Time: 6/8/2023 at 1:00 PM

Prepared By:

Tim Gilliam #25043

TAHI Inspection Services and Greenbelt Structural

512.788.1001



To Whom It May Concern:

TAHI Services and Greenbelt Structural performed a limited assessment at the above noted property. The purpose of the site visit was to assess the condition of the structure and aspects of the parcel to determine the feasibility options for future project planning.

Multiple limitations were present and additional issues, both minor and significant, may not be documented in this report or discovered during the assessment of the structure. The assessment process is not designed to be intrusive, destructive, or all encompassing. Rather, the assessment and report represent this inspector's professional opinion of the overall condition of the structure and associated systems. This 3rd party assessment and report has been provided to the prospective buyer for the purposes of due diligence, filing of available information, and additional buyer protection. The assessment process and report do not, in any manner, represent a guarantee or warranty of the above mentioned property.

Below is a limited list of information gathered at the time of assessment.

PROPERTY INSPECTION REPORT FORM

	<u>6/8/2023</u> <i>Date of Inspection</i>
<i>Address of Inspected Property</i>	
<u>Tim Gilliam</u> <i>Name of Inspector</i>	<u>25043</u> <i>TREC License #</i>
<u></u> <i>Name of Sponsor (if applicable)</i>	<u></u> <i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D).

Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	1. Foundations
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NOTE - NO DRAWINGS/PLANS PROVIDED - REDUCED SCOPE OF WORK: Construction drawings and plans were not present on site or available for review through jurisdictional bodies. When available, review of plans and drawings can aid in verification that the project meets/matches engineer specifications. An open records request has been made to the City of Dripping Springs and Hays county. At the time of this reporting, no response from the above mentioned departments has been received. Any pertinent documents provided at a later date will be forwarded to the client.

In the absence of construction documents, certain concerns and recommendations noted herein this report are based on best practices, professional opinion, and/or generally applied standards. Research to determine if our recommendations are supported by engineering drawings, plans, notes, and/or jurisdictional mandates is deferred to the building supervisor or responsible 3rd parties. This statement applies to all chapters herein this report.

- SUMMARY -

COMMON RECOMMENDATIONS AND CONCERNS:

At the time of inspection, the foundation appeared to be performing as intended. Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Remove all form debris prior to landscaping and sod install (wood material)
- Remove/trim any exposed rebar and cover to prevent rusting (foundation wall)
- Conduct finish work (parging/sand coat) if included in builder/buyer agreement
- Ensure all low spots and areas of utility trenches are properly backfilled and compacted prior to landscaping
- Ensure proper grading and drainage features are provided to adequately divert moisture away from the structure (to be inspected at final)

EXPOSED METAL AT FOUNDATIONS/SLABS:

Exposed metal was present on the foundation wall or slabs (rebar, steel, slab reinforcement material, or fasteners). All exposed metal component should be rust treated and properly covered with concrete or parge coat to prevent rusting/expansion and damage to foundation.

FORM BOARDS LEFT IN PLACE:

Form boards were observed in isolated areas. Form boards are used to shape concrete (slabs/skirting/wall openings) and are sometimes left in place after construction. In general, it is recommended that form boards be

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I	NI	NP	D
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removed to eliminate conducive conditions for wood destroying organisms.



EXPOSED METAL



FORM BOARDS LEFT IN PLACE



INSTALL PARGE COAT

X			X
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2. Grading and Drainage

GENERAL INFORMATION:
 Ground Cover Type: Dirt
 Method Of Inspection: Visual

ONGOING MONITORING/MAINTENANCE REQUIREMENTS - ALL PROPERTIES:

Per general maintenance guidelines, areas surrounding the structure should be monitored (particularly after heavy rains) for excess moisture pooling and/or marginal drainage away from the structure. If a 5% grade slope (6" drop per 10') away from the structure is not feasibly attainable due to topographic or other limitations, drainage features should be installed to attain sufficient moisture diversion. Monitoring of the property and maintenance of drainage features

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should be considered an ongoing requirement. If areas of concern are discovered, an irrigation or system specialist should be contacted.

- SUMMARY -

COMMON RECOMMENDATIONS AND CONCERNS - INCOMPLETE INSTALLATION:

Grading and drainage installations and updates were incomplete at the time of the framing assessment. A full evaluation of the grading and drainage system should take place at project completion (final inspection).

General moisture diversion standards call for no less that 3" of foundation wall to be visible above grade and a minimum 5% grade slope (6" drop per 10') away from the structure. Ensure all areas of grading/drainage meet or exceed minimum standards. If property limitations are present which prevent the ability to feasibly attain minimum grading/drainage standards, a landscaping/irrigation specialist should be consulted to determine what improvement options are available and warranted. Reduced moisture diversion can result in water penetration into the structure, damage to building material, insect intrusion (to include termites), and is a common contributing factor in foundation settlement issues. Any notable issues will be listed in the report and should be addressed before final inspection (see image gallery for supporting pictures). Ensure proper slope is achieved and all debris is removed prior to sod installation and project completion. Areas of concern noted at the time of inspection include, but are not limited to:

- Remove any construction debris around structure/yards prior to landscaping and sod install (wood/metal/glass etc)
- Ensure proper slope is achieved at areas with neutral/negative grading prior to project completion and landscaping (to be assessed at final)



REMOVE DEBRIS



REMOVE DEBRIS

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I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	3. Roof Covering Materials
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GENERAL INFORMATION:

Roof Covering Material: Asphalt shingles noted
 Roof Covering Viewed From: Roof surface, ladder, and eaves
 Limitations: Installation not complete - inspect at final

ONGOING MONITORING/NEW CONSTRUCTION REQUIREMENTS:

The roof system, roof coverings, attic are a critical building components. Reoccurring maintenance checks and updates will be required. Roof and attic assessments should take place bi-annually and following any inclement weather. Increased monitoring of the roof/attic should take place during the first year following construction (increased likelihood of settlement/issues arising as materials break in). Safety factors may require skilled professionals to perform routine maintenance checks and updates.

SCOPE/MAINTENANCE NOTE:

Ensure that the structure and roof covering is monitored and maintained per recommendations. Additional supporting details/pictures are provided in this report or through supporting documents (survey drawings). Items to be inspected following the complete installation of roofing material typically include, but are not limited to:

- Uniform installation of roof covering material
- Adequate installation of flashing
- Proper caulking and sealing
- Proper adhesion of shingles
- Proper paint protecting of PVC pipe stacks
- General assessment for workman damage and isolated issues

- SUMMARY -

COMMON RECOMMENDATIONS AND CONCERNS - INCOMPLETE INSTALLATION:

Roofing material installation was incomplete at the time of the framing assessment. A full evaluation of the roofing system should take place at project completion (final inspection). Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Ensure all vents and flashings are painted with uv protective paint prior to completion
- Cut shingle at ridge
- Remove debris from roof
- Seal all exposed fasteners
- Adhere shingle at ridge

Roof penetrations missing paint

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FASTENERS NOT SEALED



PAINT VENTS



ADHEAR SHINGLE



FASTENERS NOT SEALED

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DEBRIS ON ROOF



CUT SHINGLE

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4. Roof Structure and Attics

GENERAL INFORMATION:

Viewed Attic From:

Roof Framing:

Insulation Type: N/a - assess at final

Insulation: Average Depth: N/a - assess at final

Ventilation: Static Roof, Ridge, Soffit, Gable or Approved Method

System Specific Recommendations: Assess yearly/after inclement weather

Limitations: Various Limitations - Undiscovered Issues May Be Present

Inspector Notes: Further Assessment Required at Final Inspection

Inspector Notes: New Construction - Elevated Monitoring Advised

ATTIC FRAMING QAQC CHECKS

Assess for detectable flaws/errors/concerns at the following areas:

- Access hatch
- Beams
- Boring/notching
- Trusses
- Flashing
- Hangers/ledgers
- Joists
- Purlins/collar ties
- Rafters
- Ventilation

SCOPE/RECOMMENDATIONS NOTE:

Inspection of the attic is limited by various factors including duct/framing layout, plumbing and electrical lines, insulation, and other factors. A good faith effort is made to examine all areas but some issues may be present that are not listed in the report as a result of limited safe access. Roofs/attics are most commonly framed using a manufactured truss systems or conventional framing (rafters, perlin, vertical bracing, and collar ties). Roof framing should never be cut or

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structurally altered without first consulting a structural engineer. Using the interior attic framing area for storage may also place improper structural loads on supports not designed for applied loads.

NOTE - BUILDING/SITE PLANS NOT FOUND:

A complete set of plans was not present or made available. Verification of wind bracing, strap/clip requirement was not possible. It is recommended that the builder provided verification that wind bracing, strapping, ties, meet engineering specifications.

- SUMMARY -

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered the during property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
 -Improve roof decking support at weak points and areas susceptible to damage

- NOTED ISSUES -

COMMON ISSUES PRESENT AT ROOF STRUCTURE/ATTICS:

Common issues were observed at the roof structure and attics. The roof/attics were inspected for adequate ventilation/ducting, framing, moisture penetration, vermin activity and plumbing/electrical runs. Any notable issues will be listed in the report and should be addressed before final inspection.

NOTE - DESIGN INFO AND INSPECTION LIMITATIONS:

Roofs/attics are most commonly framed using a manufactured truss systems or conventional framing (rafters, perlin, vertical bracing, and collar ties). Roof framing should never be cut or structurally altered without first consulting a structural engineer. Using the interior attic framing area for storage may also place improper structural loads on supports not designed for applied loads. Inspection of the attic is limited by various factors including duct/framing layout, plumbing and electrical lines, insulation, and other factors. A good faith effort is made to examine all areas but some issues may be present that are not listed in the report as a result of limited safe access.

DECKING ISSUES AND CONCERNS:

Areas of decking material deflection and damage were observed in the attic. In their current state, it is important that these areas be avoided when walking on the roof. Although no immediate indicators of roof failure were observed, weak decking is susceptible to vertical forces from above which may affect the future roof performance if not corrected. The structure does not appear to be currently unstable but getting options/costs for reinforcement by a roofing and framing expert are recommended for future budgeting.

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GAPS AND CRACKS BETWEEN ROOF EAVE COMPONENTS:
Gaps were present between segments of the fascia, trim, and soffit.
Updating these areas with proper sealant/finishing is recommended to prevent moisture, insect, and vermin intrusion / damage.



COLLAR TIES PRESENT



ATTIC ACCESS



PURLIN BRACING



PROFESSIONAL INSTALLATION

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DECKING ISSUES ABOVE GARAGE



GAPS AND CRACKS BETWEEN WALL AND EAVE

X			X
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5. Walls (Interior and Exterior)

GENERAL INFORMATION - INTERIOR WALL FRAMING AND DESIGN :

- Wall Framing Type: Standard stud framing or approved methods
- Ceiling/Floor Joist Type: Standard lumber and/or engineered
- Beam Type: Standard lumber and/or LVL beams present
- Door Framing: Standard headers, cripples, king/jack studs or approved methods
- Window Framing: Standard headers, cripples, king/jack studs or approved method
- Int Wall Stud Span: 16" O.C.

GENERAL INFORMATION - EXTERIOR WALL FRAMING AND DESIGN - :

- Wall Framing Type: Stick Built, Standard Framing (2x4", 2x6")
 - Ext Wall Stud Span: 16" O.C.
 - Corner Framing: Triple stud or greater
 - Anchoring Method: Anchor bolting, straps at corners
 - Anchoring Spans: Appx. 4'
 - Siding Material: To Be Assessed at Final Inspection
 - Barrier Type: Approved poly wrap, laminated panel, and/or felt type
 - Flashing Type: Standard tapes and aluminum/galvanized at walls and roof connections
 - Window/Door Penetration Points: Barrier tape and/or approved methods
- INSPECTOR NOTES: If cladding is present, it may affect ability to visually assess

WALL FRAMING QAQC CHECKS: Assess for Detectable Flaws/Errors/Concerns

- Boring/notching
- Bracing
- Column(s)
- Fireplace
- Headers/lintels
- Firestopping
- Plates

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- Room Dimensions (spot check)
- Stairways
- Stud Spacing (spot check)

ENGINEERING/JURISDICTIONAL PLANS ON SITE: Not found
 SPOT CHECK FOR PLUMB/LEVEL: Areas Assessed Meet General Standards
 INSPECTOR NOTE: Jurisdictional and/or Code Inspection Not Conducted
 INSPECTOR NOTE: Portions of Building May Be Inaccessible/Non-Visible at Time of Assessment
 INSPECTOR NOTE: Report Not Intended to Be All Encompassing, Limited/General Info Provided
 INSPECTOR NOTE: Quality Assurance, Quality Control Checks are Limited (Representative Sampling)

- SUMMARY - EXTERIOR WALLS -

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement before final inspection. Areas of concern noted at the time of inspection include, but are not limited to:

- Improve sections of house wrap / barrier with inadequate/improper coverage (missing, torn, loose, improperly installed materials)
- Ensure all wall penetration points are properly sealed to reduce the likelihood of future moisture entry (pipe, wire, exhaust penetrations etc)



SEAL HOLES COMPLETELY



REPAIR MOISTURE BARRIER

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I	NI	NP	D
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PROPER USE OF TAPE



PROFESSIONAL INSTALLATION



PROFESSIONAL FRAMING INTERIOR



PROFESSIONAL FRAMING INTERIOR

X			
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6. Ceilings and Floors

CEILING - GENERAL INFORMATION:

INSPECTOR NOTES: Framing Information Included in 'Interior Walls' Chapter

INSPECTOR NOTES: Full Assessment to Be Conducted at Final Inspection

FLOORING - GENERAL INFORMATION:

FLOORING MATERIAL: N/A

INSPECTOR NOTES: Full Assessment to Be Conducted at Final Inspection

- SUMMARY -

NO ISSUES OBSERVED AT CEILING:

Ceilings throughout the home were in serviceable condition at the time of inspection.

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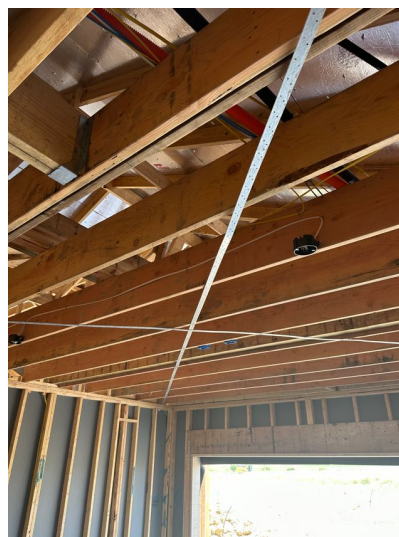
I	NI	NP	D
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NO ISSUES OBSERVED AT FLOORS:

Floors throughout the home were in serviceable condition at the time of inspection.



JOIST HANGERS IN PLACE



WIND BRACING INSTALLED



PROFESSIONAL FRAMING

X			
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7. Doors (Interior and Exterior)

- SUMMARY -

NO ISSUES OBSERVED AT DOORS:

Doors throughout the home were in serviceable condition at the time of inspection (hardware, door materials, and functionality inspected).

I=Inspected

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FRONT DOOR INSTALLED



PROPER INSTALLATION



BACK DOOR INSTALLED



PROPER INSTALLATION

X			
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8. Windows

WINDOW TYPE: Double Pane - Newer Generation

BUILDING EGRESS: Meets Basic Standards Unless Otherwise Stated Below

FRAMING MATERIAL: Standard Lumber

HEADER TYPES: Stud Built and Engineered

INSPECTOR NOTES: Framing Information Included in 'Interior Walls' Chapter

INSPECTOR NOTES: Full Assessment to Be Conducted at Final Inspection

NOTE - ENSURE PROPER FINISH WORK IS COMPLETED:

Ensure the following finish work takes place prior to the completion of the construction project:

- All Window Screens Properly Installed
- All Windows Retested for Functionality Issues
- All Windows Professionally Cleaned (Inside and Out)

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I	NI	NP	D
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- SUMMARY -

NO ISSUES FOUND AT WINDOWS/FRAMED OPENINGS:

No issues were found at the windows/framed openings (note - incomplete install - assess at final). Windows and window framing are typically inspected for proper flashing/tape, square/plumb conditions, adequate headers, damage, and proper fasteners.



WINDOWS TESTED



WINDOWS TESTED



PROFESSIONAL INSTALLATION



PROFESSIONAL INSTALLATION

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9. Stairways (Interior and Exterior)

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	10. Fireplaces and Chimneys
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	11. Porches, Balconies, Decks, and Carports
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- SUMMARY -

NO ISSUES OBSERVED:

No issues were observed at porches, fences, decks, balconies or carports at the time of inspection. These areas are typically inspected for:

- Design
- Material condition
- Stability



PROPER POST SUPPORT



FRONT PORCH



JOIST HANGERS IN PLACE



PROPER POST SUPPORT

I=Inspected

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D=Deficient

I	NI	NP	D
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II. ELECTRICAL SYSTEMS

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MAIN PANEL / SERVICE DISTRIBUTION WIRING - GENERAL INFORMATION:
 SERVICE ENTRY: Underground
 MAIN DISCONNECT: N/A (To Be Assessed at Final)
 MAIN SERVICE WIRING MATERIAL: Copper or Properly Utilized Aluminum
 SUB PANEL LOCATION: Garage or Approved Location (Staged and Prepped for Completion)
 GROUND ROD/WIRING: Rod Not Visible - Ground Wiring Present
 PRIMARY DISTRIBUTION WIRING: Copper Romex
 WIRING PLATING: Meets Standards, Update Recommendations Marked On Site
 JUNCTION BOXES: Meets General Standards (Properly Installed/Prepped)
 WIRE SPLICING: Meets General Standards (Ensure All Incomplete Wiring Capped/Spliced)
 INSPECTOR NOTES: Full Assessment To Be Conducted at Final Inspection

- SUMMARY -

NO ISSUES FOUND AT ELECTRICAL PANELS - INCOMPLETE INSTALL - ASSESS AT FINAL:
 Installation was incomplete at the main and sub panels (staged/prepped for completion). All present components at the panels appeared to be in serviceable condition at the time of the inspection.
 Inspection of the panels typically includes examination of the panel interior and exterior condition, main disconnect staging conditions, branch conductor types, wiring materials/types/condition, connections, service and equipment grounding, and bonding.

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I	NI	NP	D
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MAIN SERVICE STAGED



SUB PANEL STAGED

X			
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2. Branch Circuits, Connected Devices, and Fixtures

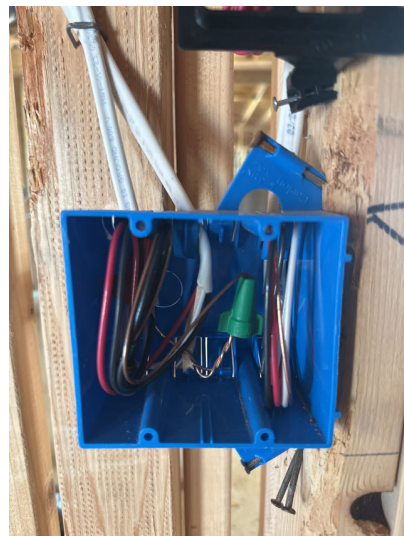
- SUMMARY -

COMMON ISSUES PRESENT AT BRANCH CIRCUITS:

Common issues were observed with branch circuits and fixtures at the time of inspection. Notable problems will be listed in the report. Having a professional or specialist address the noted issues is recommended. Loose wire near window in living space.



PROFESSIONAL INSTALLATION



PROPERLY SECURED

I=Inspected

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D=Deficient

I	NI	NP	D
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CORRECT FASTENER



SECURE LOOSE WIRE

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1. Heating Equipment
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HEATING SYSTEM - GENERAL INFORMATION:

EQUIPMENT LOCATION: Attic

INSPECTOR NOTES: Full Assessment To Be Conducted at Final Inspection

- SUMMARY -

NO ISSUES FOUND AT HEATING EQUIPMENT:

Installation of the furnace / heating system was in progress (staged/prepped for completion - assess at final). Present and accessible components appeared to be free of damage and properly installed. Inspection of the furnace typically includes assessment of the staging area, cabinet interior and/or exterior, gas lines/valves, and the presence of shut-offs.

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I	NI	NP	D
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PROFESSIONALLY INSTALLED



GAS LINE PREPPED



GAS SUPPLY CAPPED



PROPER VENT CLEARANCE

X			
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2. Cooling Equipment

COOLING SYSTEM - GENERAL INFORMATION:

AIR HANDLER LOCATION: Attic

CONDENSING UNIT LOCATION: Side Yard

INSPECTOR NOTES: Full Assessment To Be Conducted at Final Inspection

- SUMMARY -

I=Inspected

NI=Not Inspected

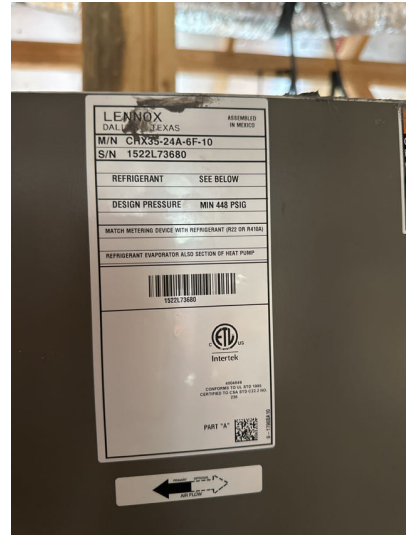
NP=Not Present

D=Deficient

I	NI	NP	D
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AIR HANDLER PROFESSIONALLY INSTALLED



DATA PLATE



CONDENSER LOCATION PREPPED

X			
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3. Duct Systems, Chases, and Vents

GENERAL INFORMATION - DUCT SYSTEM:

DUCT TYPES: Mylar Flex

DAMPERS PRESENT (ZONED): To Be Determined at Final Inspection

ELEVATED AIR LOSS: To Be Determined at Final Inspection

THERMAL CAMERA ASSESSMENT: To Be Performed at Final Inspection

THERMAL CAMERA RESULTS: N/A

GENERAL CONDITION: Installation Meets General Standards

INSPECTOR NOTES: Full Assessment To Be Conducted at Final Inspection

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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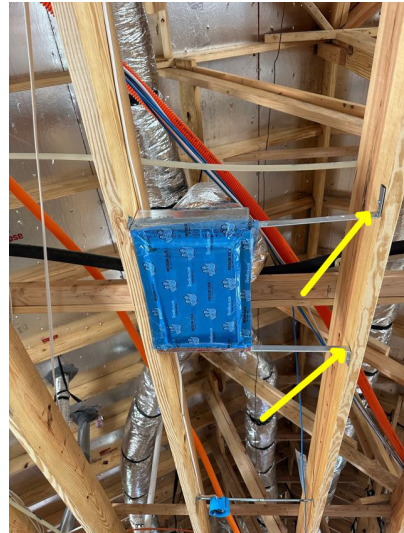
PROFESSIONALLY INSTALLED



DUCT REPAIRED



DUCTING PROPERLY SUPPORTED



PROFESSIONAL INSTALLATION

IV. PLUMBING SYSTEMS

X			
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1. Plumbing Supply, Distribution System and Fixtures

SUPPLY PLUMBING SYSTEM - GENERAL INFORMATION:

WATER SOURCE: Public

PRIMARY PIPE MATERIAL: PEX

METER LOCATION: Front Yard or Approved Location

OWNER SHUT OFF VALVE: Present (Near Meter)

PRESSURE REDUCING VALVE: Present (Near Meter)

PROPER PIPE INSULATION/SLEEVING: Meets Standards Unless Otherwise Noted

PIPING SECURED TO STUDS: Meets Standards Unless Otherwise Noted

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I	NI	NP	D
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SAFETY PLATING: Meets Standards (Isolated Issues Marked on Site or Below)
SUPPLY PIPE PRESSURE TESTING: Verify 'Passed' Results Through Builder
GAS PIPE PRESSURE TESTING: Verify 'Passed' Results Through Builder
INSPECTOR NOTES: Full Assessment To Be Conducted at Final Inspection

NOTE - ENSURE SYSTEM IS MONITORED - NEW CONSTRUCTION:
 An elevated degree of monitoring at the plumbing equipment and exposed connections (at sinks, commodes, etc.) is advised. Minor plumbing issues are common on newly constructed homes. Ensure plumbing areas are checked often during the first 6 months of usage and regularly thereafter (per general maintenance recommendations).

NOTE - INSULATION REQUIREMENT FOR SUPPLY LINES:
 Mechanical system piping insulation is required in some areas (Mandatory per 2015 IECC/IRC, Section R403.4/N1103.4). Mechanical system piping capable of carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.

- SUMMARY -

NO ISSUES FOUND AT PLUMBING SUPPLY SYSTEM:
 Installation of the plumbing supply system was incomplete at the time of assessment (staged/prepped for completion - assess at final). All present / accessible plumbing supply systems appeared to be free of significant installation issues or damage. Inspection of the plumbing supply system typically assessment of the visible supply pipe condition/size, proper pipe insulation, adequate anchoring at studs adjacent to rough outs, and proper static pressure available to the home (when possible).



PRESSURE TEST UNDERWAY



SUPPLY LINES INSULATED

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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PROPER SUPPORT

X			
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2. Drains, Wastes, and Vents

- SUMMARY -



STREET SIDE CLEANOUT



OWNER CLEAN-OUT

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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LEAK TEST UNDERWAY

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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3. Water Heating Equipment

WATER HEATER - GENERAL INFORMATION:

EQUIPMENT STAGING AREA: Garage/Attic or Approved Location

INSPECTOR NOTES: Install Incomplete (To Be Assessed at Final Inspection)

- SUMMARY -



STAGED FOR INSTALLATION



VENT AND PLUMBING SUPPLY PREPARED

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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4. Hydro-Massage Therapy Equipment

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5. Other
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V. APPLIANCES

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Dishwashers
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Food Waste Disposers
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Range Hood and Exhaust Systems
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Ranges, Cooktops, and Ovens
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	5. Microwave Ovens
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6. Mechanical Exhaust Vents and Bathroom Heaters
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TESTING TO BE CONDUCTED AT FINAL INSPECTION



PROPER VENTING



PROPER VENTING

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	7. Garage Door Operators
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8. Dryer Exhaust Systems
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INCOMPLETE INSTALL - ASSESS AT FINAL

NOTICE OF LIMITATIONS AND GENERAL RECOMMENDATIONS:

Verification of proper venting and cleaning/clearing of debris was not conducted during this limited assessment. All dryer vents should be cleared prior to usage and yearly (or as needed) to prevent damage to dryer equipment and improve fire safety.



VENTS TO ROOF

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	9. Other
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VI. OPTIONAL SYSTEMS

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Landscape Irrigation (Sprinkler) Systems
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Swimming Pools, Spas, Hot Tubs, and Equipment
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Outbuildings
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Private Water Wells (A coliform analysis is recommended)
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	5. Private Sewage Disposal (Septic) Systems
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6. Other
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NOT INSPECTED: NOT PRESENT

INSPECTOR NOTES: To Be Inspected at Final (Where Applicable)

Report Summary

STRUCTURAL SYSTEMS		
Page 4 Item: 1	Foundations	<p>COMMON RECOMMENDATIONS AND CONCERNS: At the time of inspection, the foundation appeared to be performing as intended. Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:</p> <ul style="list-style-type: none"> -Remove all form debris prior to landscaping and sod install (wood material) -Remove/trim any exposed rebar and cover to prevent rusting (foundation wall) -Conduct finish work (parging/sand coat) if included in builder/buyer agreement -Ensure all low spots and areas of utility trenches are properly backfilled and compacted prior to landscaping -Ensure proper grading and drainage features are provided to adequately divert moisture away from the structure (to be inspected at final) <p>EXPOSED METAL AT FOUNDATIONS/SLABS: Exposed metal was present on the foundation wall or slabs (rebar, steel, slab reinforcement material, or fasteners). All exposed metal component should be rust treated and properly covered with concrete or parge coat to prevent rusting/expansion and damage to foundation.</p> <p>FORM BOARDS LEFT IN PLACE: Form boards were observed in isolated areas. Form boards are used to shape concrete (slabs/skirting/wall openings) and are sometimes left in place after construction. In general, it is recommended that form boards be removed to eliminate conducive conditions for wood destroying organisms.</p>
Page 7 Item: 3	Roof Covering Materials	<p>COMMON RECOMMENDATIONS AND CONCERNS - INCOMPLETE INSTALLATION: Roofing material installation was incomplete at the time of the framing assessment. A full evaluation of the roofing system should take place at project completion (final inspection). Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:</p> <ul style="list-style-type: none"> -Ensure all vents and flashings are painted with uv protective paint prior to completion -Cut shingle at ridge -Remove debris from roof

		<p>-Seal all exposed fasteners -Adhere shingle at ridge</p> <p>Roof penetrations missing paint</p>
Page 10 Item: 4	Roof Structure and Attics	<p>- NOTED ISSUES -</p> <p>COMMON ISSUES PRESENT AT ROOF STRUCTURE/ATTICS: Common issues were observed at the roof structure and attics. The roof/attics were inspected for adequate ventilation/ducting, framing, moisture penetration, vermin activity and plumbing/electrical runs. Any notable issues will be listed in the report and should be addressed before final inspection.</p> <p>NOTE - DESIGN INFO AND INSPECTION LIMITATIONS: Roofs/attics are most commonly framed using a manufactured truss systems or conventional framing (rafters, perlin, vertical bracing, and collar ties). Roof framing should never be cut or structurally altered without first consulting a structural engineer. Using the interior attic framing area for storage may also place improper structural loads on supports not designed for applied loads. Inspection of the attic is limited by various factors including duct/framing layout, plumbing and electrical lines, insulation, and other factors. A good faith effort is made to examine all areas but some issues may be present that are not listed in the report as a result of limited safe access.</p> <p>DECKING ISSUES AND CONCERNS: Areas of decking material deflection and damage were observed in the attic. In their current state, it is important that these areas be avoided when walking on the roof. Although no immediate indicators of roof failure were observed, weak decking is susceptible to vertical forces from above which may affect the future roof performance if not corrected. The structure does not appear to be currently unstable but getting options/costs for reinforcement by a roofing and framing expert are recommended for future budgeting.</p> <p>GAPS AND CRACKS BETWEEN ROOF EAVE COMPONENTS: Gaps were present between segments of the fascia, trim, and soffit. Updating these areas with proper sealant/finishing is recommended to prevent moisture, insect, and vermin intrusion / damage.</p>
Page 13 Item: 5	Walls (Interior and Exterior)	<p>COMMON RECOMMENDATIONS AND CONCERNS: Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement before final inspection. Areas of concern noted at the time of inspection include, but are not limited</p>

		<p>to:</p> <ul style="list-style-type: none">-Improve sections of house wrap / barrier with inadequate/improper coverage (missing, torn, loose, improperly installed materials)-Ensure all wall penetration points are properly sealed to reduce the likelihood of future moisture entry (pipe, wire, exhaust penetrations etc)
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