



Property: 123 Sample Rd.
Austin , TX 78703
Client: Sample Report - New Construction
Inspector: Andy Jordan #9458
Date: October 18, 2023



To Whom It May Concern:

On October 18, 2023, a site visit to the above mentioned address was made in order to perform a property inspection. Information discovered during the inspection process has been provided in this report.

Multiple limitations were present and additional issues, minor and/or significant, may not be documented in this report or discovered during the property assessment. The inspection process is not designed to be intrusive, destructive, or all encompassing. Rather, the inspection and report represent this inspector's professional opinion of the overall condition of the structure and associated systems. Concerns, recommendations, and opinions may vary from one professional to another. This 3rd party inspection and report has been provided to the client for the purposes of due diligence, research, and filing of available information. The inspection process and report do not, in any manner, represent a guarantee or warranty that all issues, minor and/or significant, will be discovered during the inspection process. Further information and helpful links in regards to inspection limitations and licensing standards can be found in the addendum section of this report.

PROPERTY INSPECTION REPORT

Prepared For: Sample Report - New Construction
(Name of Client)

Concerning: 123 Sample Rd. Austin, TX 78703
(Address or Other Identification of Inspected Property)

By: Andy Jordan, Lic #9458 October 18, 2023
(Name and License Number of Inspector) (Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000
(<http://www.trec.texas.gov>)

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST)

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

GENERAL STATEMENTS

– FOUNDATION AND STRUCTURAL INFORMATION:

FOUNDATION TYPE: Concrete Slab

FOUNDATION AGE: 1-2 Years

APPX. SQUARE FOOTAGE: 3403SF (Building Footprint)

EVIDENCE OF SETTLEMENT: Minor/Common

EVIDENCE OF FOUNDATION REPAIR: N/A

RELATIVE ELEVATION SURVEY: Performed - See Below

EQUIPMENT USED: Altimeter - ZipLevel Pro 2000

PRIMARY PURPOSE OF MEASUREMENT: Determine Elevation - Benchmark Readings

MEASUREMENTS INDICATE: Foundation Within General Parameters

SURROUNDING GEOLOGICAL FORMATIONS:

ASSOCIATED ROCK/SOIL TYPES: Research Not Conducted

EXPANSIVE SOILS PRESENT: Typical for Central Texas

MAP REFERENCED: N/A

PRIMARY SOURCE OF INFO COLLECTION: Visual Inspection

SCOPE OF WORK: Determine if Indicators of Catastrophic Failure are Present

STANDARDS OBSERVED: Professional Opinion and Protocols Noted Below

INSPECTOR NOTES: Minor Settlement Cracks/Damage are Considered Common

INSPECTOR NOTES: Professional Opinion May Vary

GENERAL RECOMMENDATIONS: <http://atxinspect.com/client-care>

MONITORING RECOMMENDATIONS: atxinspect.com/foundation411

FOUNDATION AND STRUCTURAL INSPECTION PROCEDURE:

The foundation inspection procedure performed by TAHI Services has been created through the guidance of several industry specific publications, C.E. course work, industry association standards, individual work experience, and mandates set forth through the Texas Real Estate Commission. Certain aspects of the structural and foundation assessment will vary depending on the building type, inspection limitations, and scope of the project. The complete methodology used by this company to inspect and evaluate structures is proprietary. Pertinent criteria for the proper evaluation of structural settlement and foundation issues have been described in document #FPA-DC-01-A published by the Foundation Performance Association.

– CONCLUSIONS AND RECOMMENDATIONS - FOUNDATION MEETS STANDARDS:

In this inspector's professional opinion, the foundation is currently supporting the structure and free of detectable failure or significant design errors. A site drawing and readings have been recorded and will be delivered in a separate report. Ensure survey information is filed for the duration of the structural warranty (no less than 10 years).

– GEOTECHNICAL REPORT DETAILS:

The following geotechnical engineering details were provided by CRI Labs (Derrick Lee P.E. 129516). Where possible/visible, these standards have been cross-referenced against site conditions and construction methods employed. Limited cross reference of construction drawings and details occurred (full review of documents not conducted). No geotechnical specific work or evaluation was conducted by our firm. A full report can be viewed in the attached or linked data packet.

Project Information:

The proposed project consists of a single-family residential structure, one or two stories in height. The estimated

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superimposed loads can be assumed to be in the range of 1,200 to 2,000 pounds per linear foot applied to the soil along the perimeter of the foundation and 60 to 100 pounds per square foot applied by the concrete slab.

Geological Details:

The proposed site is located in the Del Rio Clay (Kdg). The Del Rio Clay (Kdg) consists mostly of marl that is light greenish-gray to medium gray in color. Near the top, the Del Rio Clay has some thin interbeds of limestone that are nodular, slightly sandy, and fossiliferous. The formation ranges in thickness from 15 to 60 feet (Geology of Texas 1932).

Site Considerations:

From a geotechnical engineering viewpoint, it is our professional opinion that this site is suitable for the proposed development. The effective Plasticity Index (PI) for this site is 24. The Potential Vertical Rise (PVR) is 1.5 inches (TxDOT Method Tex-124-E) based on the dry water content. Therefore, this building site has a medium potential for soil induced movement of the foundation.

Foundation Recommendations:

The recommended foundation type for this project is a post-tension slab-on-grade with stiffening beams (“floating slab”). Parameters for the design of a post-tension slab-on-grade foundation are given below. If the client wishes to choose another foundation type, the engineer of record should be contacted to provide adequate parameters for design.

Structural Fill:

Suitable fill materials for foundation construction are coarse-grained soils (USCS symbols SW, SP or SM). Fine grained soils may be used (USCS symbols ML or CL) provided that the soils are properly compacted. As an overall requirement, all imported soil for structural fill should conform to the following Atterberg values:

- Maximum Liquid Limit: 30
- Maximum Plasticity Index: 15
- Minimum Plasticity Index: 4

GENERAL RECOMMENDATIONS

– **NEW CONSTRUCTION - ELEVATED MONITORING ADVISED:**

The inspected property has been recently constructed (under 5 years since original build date). Due to the lack of historical data and exposure to various weather/seasonal conditions, an elevated need to monitor newly constructed buildings is required. Recently built structures may continue to settle/shift and require adjustments/improvements as building components become subject to seasonal changes and regular usage. Ensure the building is properly monitored, maintained, and serviced yearly or as prescribed per general maintenance guidelines. Additional maintenance information and calendars can be viewed at: atxinspect.com/client-care

– **STRUCTURE CONSTRUCTED ON EXPANSIVE SOILS:**

The general soil type and natural topography of the land associated with this structure increases the home's susceptibility to foundation settlement, stresses, and failure. Proper maintenance of the foundation and structure as a whole is critical to reduce the likelihood of foundation failure. Additional information in regards to foundation maintenance can be found at the following link: atxinspect.com/clay-soil

– **ADDRESS GRADING AND DRAINAGE CONCERNS:**

Recommendations to improve grading and drainage are detailed in the following section. These recommendations, if followed, may reduce foundation settlement/movement and improve the overall protection of the structure.

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COMMON ISSUES

– **REQUEST VERIFICATION OF STRUCTURAL WARRANTY COVERAGE:**

Builder warranty documents reviewed by TAHI identify proper grading and drainage as a requirement. Failure to maintain proper grading and drainage will void structural warranty protections. Areas of marginal grade slope and minimal drainage features were noted during the site assessment (based on general standards and details provided in a geotechnical engineering report).

Additional grading and drainage information/recommendations are provided in the following chapter. Additional grading and drainage information/recommendations are provided in the following chapter. Ensure all grading/drainage conditions meet standards set forth in submitted engineering reports and/or best practices. Additionally, we recommend that further verification from the builder be requested to ensure that grading and drainage features, at the completion of the project, is sufficient to meet engineering and warranty standards (provided proper ongoing maintenance is conducted). Below are excerpts from the Nalle warranty documents and geotechnical engineering reports.

– **NALLE WARRANTY DETAILS (PAGE 3):**

"POSITIVE DRAINAGE AWAY FROM YOUR HOMES FOUNDATION MUST BE MAINTAINED AT ALL TIMES. NOT MAINTAINING POSITIVE DRAINAGE CAN RESULT IN FOUNDATION MOVEMENT AND EVEN THE POSSIBILITY OF FOUNDATION ISSUES. FOUNDATION ISSUES CAUSED BY FAILURE TO MAINTAIN POSITIVE DRAINAGE WILL VOID YOUR FOUNDATION WARRANTY."

– **GEOTECHNICAL REPORT DETAILS:**

Surface Drainage:

The property must be positively graded at all times to provide for rapid removal of surface water runoff from the foundation system and to prevent ponding of water under floors or seepage toward the foundation system at any time during or after construction. Ponded water will cause undesirable soil swell and loss of soil strength. As a minimum requirement, finished grades should have slopes of at least 5 percent or 6 in drop within the first 10 feet from the exterior walls to allow surface water to drain positively away from the structure. The slope gradient away from the foundation may be reduced to 3 percent for paved areas. All surface water runoff should be collected and discharged into outlets approved by the civil engineer. Landscape mounds must not interfere with this requirement. In addition, each lot should drain individually by providing positive drainage or sufficient area drains around the buildings to remove excessive surface water.

Landscape and Irrigation:

Sprinkler systems should not be installed where they may cause ponding or saturation of foundation soils within 5 feet of the walls or under a structure. Ponding or saturation of foundation soils may cause soil swell, consequent loss of strength, and movement of the foundation and slab. Irrigation of landscaped areas should be strictly limited to the amount necessary to sustain vegetation. Excessive irrigation could result in saturating, weakening, and possible swelling of foundation soils.

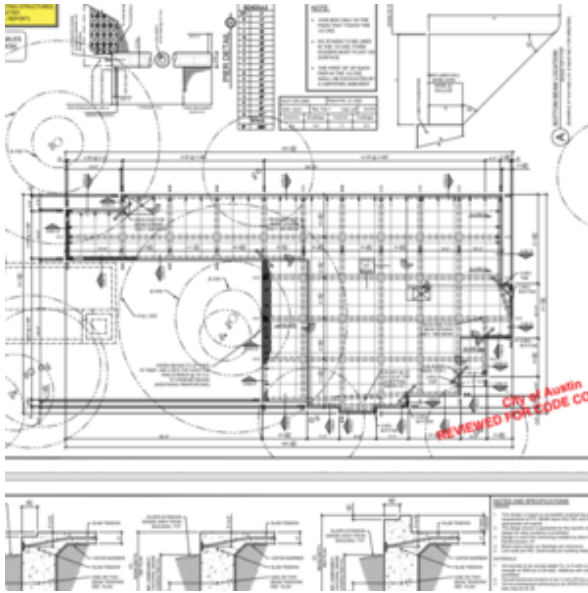
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NI=Not Inspected

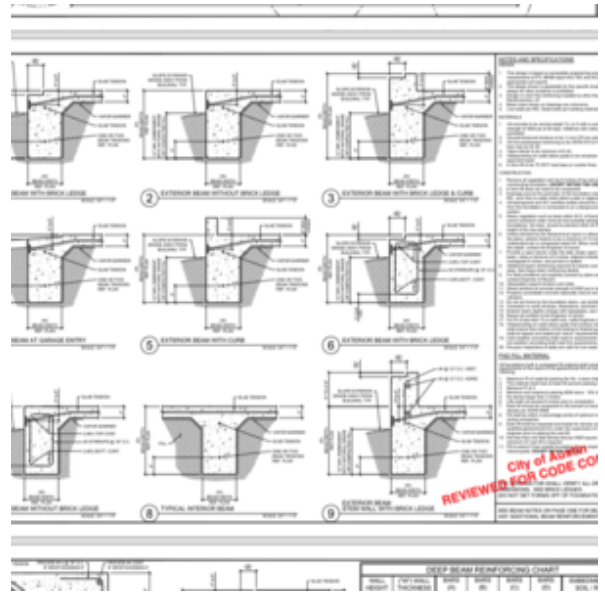
NP=Not Present

D=Deficient

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S1.0: FOUNDATION PLAN



S2.0: FOUNDATION PLAN



AERIAL PHOTO: 2021



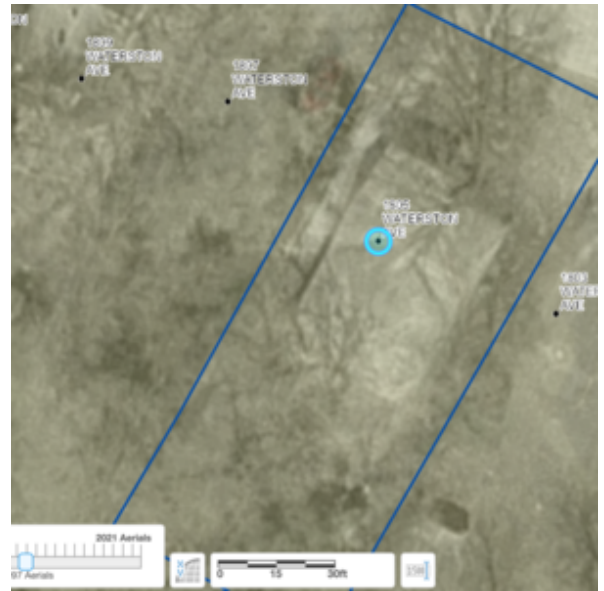
AERIAL PHOTO: 2012

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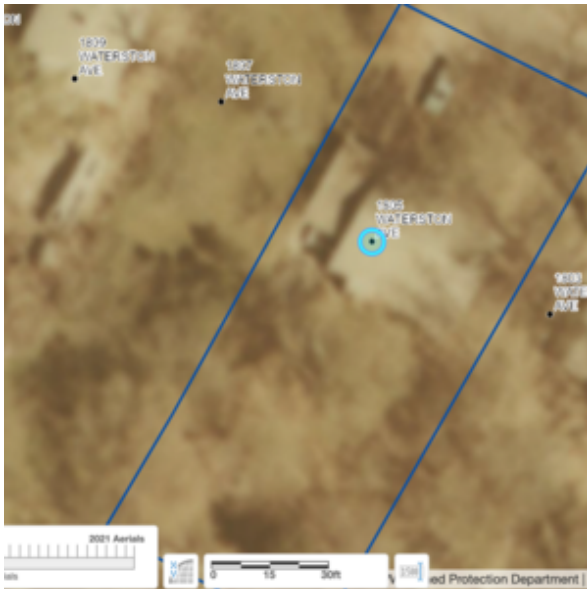
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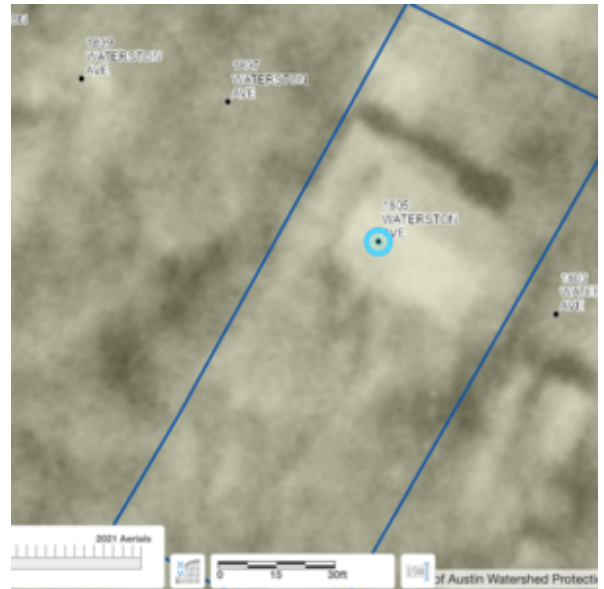
AERIAL PHOTO: 2003



AERIAL PHOTO: 1997



AERIAL PHOTO: 1977



AERIAL PHOTO: 1958

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I NI NP D

B. Grading and Drainage

GENERAL STATEMENTS

– GRADING AND DRAINAGE - SCOPE OF INSPECTION:

METHOD OF INSPECTION: Visual

GRADING : 5% Grade Slope Where Attainable

DRAINAGE PERFORMANCE: Per Professional Opinion

DRAINAGE FEATURES: Functional/Promotes Moisture Diversion

GRADING AND DRAINAGE - FURTHER INFO AND NOTICES:

GENERAL RECOMMENDATIONS: atxinspect.com/client-care

LIMITATIONS: Limited to Date/Time of Inspection – Long Term Monitoring Required

ADDITIONAL LIMITATIONS: Various Factors May Prevent Discovery of Issues

ADDITIONAL LIMITATIONS: Inspection Limited to Areas Surrounding Foundation

INSPECTOR NOTES: Supporting Details May Be Provided in Photo Gallery

– NOTICE OF INSPECTION AND REPORTING PROCEDURES:

Any site/property specific recommendations or concerns within the scope of work and discovered during the inspection process will be included below. Items considered to be 'deficient' are in accordance with Texas Administrative Code Ch. 535 Subchapter (R) Rule §535.228, and/or per the professional opinion of the licensed inspector. Additional concerns may be included per the professional opinion of the lead inspector. Mandatory administrative code items within the scope of the grading and drainage inspection, and notices of inspection limitations can be viewed at: atxinspect.com/sop (§535.228)

– GEOTECHNICAL REPORT DETAILS:

Geotechnical engineering details were provided by CRI Labs (Derrick Lee P.E. 129516). Where possible/visible, these standards have been cross-referenced against site conditions and construction methods employed. Limited cross reference of construction drawings and details occurred (full review of documents not conducted). No geotechnical specific work or evaluation was conducted by our firm. A full report can be viewed in the attached or linked data packet.

– GEOTECHNICAL REPORT REVIEW:

The following items were observed and reviewed to determine if requirements/recommendations set forth in the geotechnical engineering report appear to have been met:

Scope of Assessment and Document Review:

-Positive grading allowing for rapid removal of surface water near the foundation

-Finish grade of 5% slope within 10' of foundation

-No less than 3% at paved areas within 10' of foundation

-Landscape mounds must not interfere with run-off

-Sprinkler/irrigation system must not cause ponding/saturation within 5' of foundation

-Sprinkler system programming does not risk elevated saturation of soils near foundation

-Trees within vicinity of foundation removed or provided approved barriers

GENERAL RECOMMENDATIONS

– ENSURE DRAINAGE FEATURES MEET SITE DEMANDS - ALL PROPERTIES:

A professionally installed and functioning rain gutter system, in conjunction with secondary drainage features (as needed) and proper soil grading, is necessary to ensure adequate moisture diversion away from the structure.

Ensure all drainage features are professionally maintained and serviced as needed. Proper grading and drainage is essential to the overall protection of the structure as a whole. Contacting a rain gutter and grading/drainage specialist will aid in determining what improvement options are available and warranted based on site specific conditions.

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I NI NP D

- ONGOING MONITORING/MAINTENANCE REQUIREMENTS - ALL PROPERTIES:
Per general maintenance guidelines, areas surrounding the structure should be monitored (particularly after heavy rains) for excess moisture pooling and/or marginal drainage away from the structure. If a 5% grade slope (6" drop per 10') away from the structure is not feasibly attainable due to topographic or other limitations, drainage features should be installed to attain sufficient moisture diversion. Monitoring of the property and maintenance of drainage features should be considered an ongoing requirement. If areas of concern are discovered, an irrigation or system specialist should be contacted.
- NEW CONSTRUCTION - ELEVATED MONITORING REQUIRED:
Due to the lack of historical data and a reduced ability to predict how a structure will react to various changes in weather patterns, an elevated need for ongoing monitoring is applied to newly constructed properties. It is the responsibility of the home owner to monitor and note any areas of concern, indicators of possible moisture pooling or water penetration, and any additional issues that may require further investigation. Ensure proper maintenance and monitoring occurs. Conducting a full inspection prior to the termination of associated builder warranties is advised. For further information regarding regular maintenance and home owner information, please visit: atxinspect.com/client-care
- MONITOR RECENT SOD INSTALLATION:
The yard sod should be monitored. If areas of shocked sod (dried/browning grass) do not flourish, the areas should be re-sodded prior to the termination of the home's 1-year builder warranty.

COMMON ISSUES

- RAIN GUTTER INSTALLATION ADVISED:
The installation of rain gutters (where feasible) is recommended to improve the overall diversion of moisture away from the structure. This update would be considered a general improvement. Proper grading and drainage is essential to the overall protection and maintenance of the structure as a whole. Contacting a gutter installation specialist is advised.
- COMMON RECOMMENDATIONS AND CONCERNS:
Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
 - Address low spot near retaining wall in backyard (soil wash-out near sprinkler head)
 - Ensure grading is uniform and promotes runoff away from pool structure
- CONCERNS BASED ON GEOTECHNICAL REPORT REVIEW:
Areas of concern based on requirements set forth in the provided geotechnical report were identified. Further evaluation and response from the builder is recommended to address or clarify the following items:

Item 1 - page 11 of geotechnical report:

The property must be positively graded at all times to provide for rapid removal of surface water runoff from the foundation system and to prevent ponding of water under floors or seepage toward the foundation system at any time during or after construction. Ponded water will cause undesirable soil swell and loss of soil strength. As a minimum requirement, finished grades should have slopes of at least 5 percent or 6 in drop within the first 10 feet from the exterior walls to allow surface water to drain positively away from the structure.

Item 1 - Inspector Note:

Areas of reduced drain slope and no or unknown drainage improvements were observed (gutters, sub-grade drains, etc.). Portions of the back yard were of particular concern due to a minimal grade slope, limited drainage paths, no rain gutters, and no or unknown sub-grade drainage.

Item 2 - page 11 of geotechnical report:

All surface water runoff should be collected and discharged into outlets approved by the civil engineer.

Item 2 - Inspector Note:

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Verify engineering approval as needed.

Item 3 - page 11 of geotechnical report:

Sprinkler systems should not be installed where they may cause ponding or saturation of foundation soils within 5 feet of the walls or under a structure. Ponding or saturation of foundation soils may cause soil swell, consequent loss of strength, and movement of the foundation and slab.

Irrigation of landscaped areas should be strictly limited to the amount necessary to sustain vegetation. Excessive irrigation could result in saturating, weakening, and possible swelling of foundation soils.

Item 3 - Inspector Note:

At the time of inspection, portions of the front yard were saturated (possibly due to an irrigation leak). Supply side plumbing pressure testing indicated slow water loss was occurring. Further investigation is required to identify possible points of water loss. If the soil saturation at the front yard is not irrigation leak related, steps should be taken to identify additional issues and ensure the irrigation system meets standards noted in the engineering report.



TOPOGRAPHICAL DETAILS (COA)



TOPOGRAPHICAL DETAILS (COA)

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Lithology:
DESCRIPTION & COLOR OF FORMATION MATERIAL

Top (ft.)	Bottom (ft.)	Description
	1	Gravel
	4	Brown Sandy Clay
	25	Tan and Gray Clay

IMPORTANT NOTICE FOR PERSONS SUBJECT TO THE TEXAS OCC. CODE Title 12, Chapter 1901.25

SOIL DATA: WITHIN 1/4 MILE OF SITE

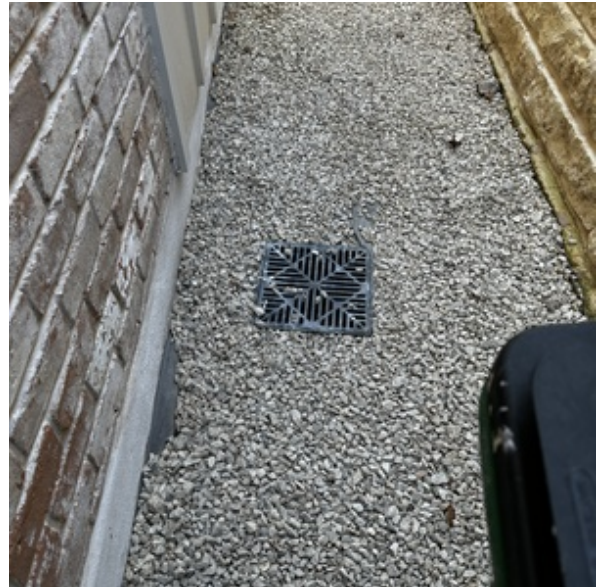
Lithology:
DESCRIPTION & COLOR OF FORMATION MATERIAL

From (ft)	To (ft)	Description
0	1	Topsoil
1	5	Caliche
5	10	White limestone
10	20	Tan limestone
20	85	Grey clay
85	230	Grey limestone
230	290	Brown rock
290	350	Grey sandstone
350	400	Multi color rock-1st H2O 20 gpm

SOIL DATA: WITHIN 1/4 MILE OF SITE



XERISCAPING AT SIDE YARDS



SUBGRADE DRAIN ENTRY: RT. SIDE

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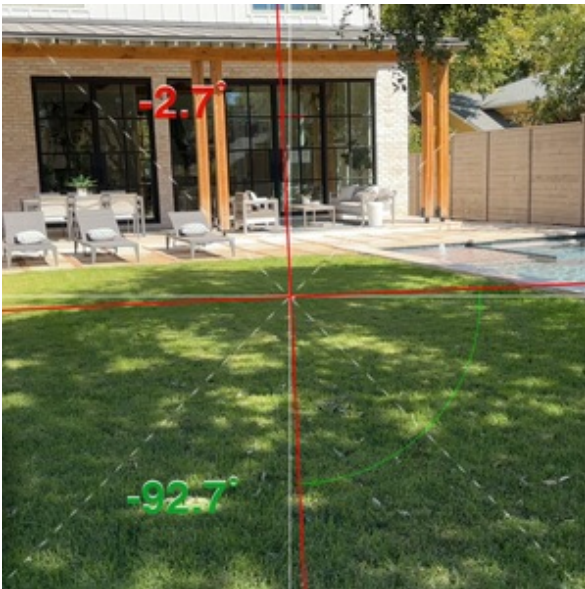
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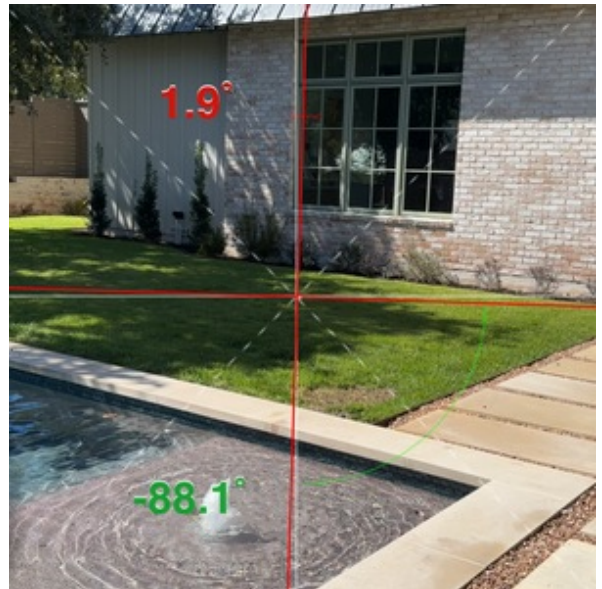
DRAIN TERMINATION NEAR STREET



RAIN GUTTERS NOT PROVIDED



BACKYARD: MARGINAL DRAIN SLOPE



BACKYARD: MARGINAL DRAIN SLOPE

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I **NI** **NP** **D**



FRONT YARD: SOIL SATURATION



FRONT YARD: SOIL SATURATION

C. Roof Covering Materials

GENERAL STATEMENTS

– ROOFING COVERINGS - GENERAL INFORMATION:

ROOF TYPE: Standing Seam Metal

VIEWED FROM: Walked Portions of Roof

WATER PENETRATION: Noted Below if Discovered (See Tolerances/Limitations)

ROOF COVERINGS - SCOPE OF INSPECTION:

PRIMARY INSPECTION METHOD: Visual - Determine General Condition

INDICATORS OF PREVIOUS REPAIR: Noted Below if Discovered/Substantial

ROOFING MATERIAL ISSUES: Noted Below if Discovered/Substantial

PENETRATION OR ADHESION ISSUES: Noted Below if Discovered/Substantial

ROOF FLASHING/FASTENER ISSUES: Noted Below if Discovered/Substantial

SKYLIGHT/ROOF FEATURE ISSUES: Noted Below if Discovered/Substantial

ROOF COVERINGS - FURTHER INFO AND NOTICES:

AVERAGE MATERIAL LIFE SPAN: atxinspect.com/client-care

GENERAL RECOMMENDATIONS: atxinspect.com/client-care

TOLERANCES: Superficial Flaws and Wear/Tear Not Included in Report

TOLERANCES: Superficial/Minor Moisture Stains in Attic May Not Be Noted

LIMITATIONS: Portions of the Roof Not Physically Accessible Due to Pitch

LIMITATIONS: Portions of the Roof Not Accessible Due to Safety Hazards (Pitch/Slick Metal)

LIMITATIONS: Visual Assessment - Undiscovered Issues May Be Present

LIMITATIONS: Determining Material Age May Not Be Possible

INSPECTOR NOTES: Assess Yearly/After Inclement Weather

INSPECTOR NOTES: Partial Supporting Details May Be Provided in Photo Gallery

INSPECTOR NOTES: Moisture Entry Concerns May Be Listed in Chapters Below

INSPECTOR NOTES: New Construction - Elevated Monitoring Advised

– NOTICE OF INSPECTION AND REPORTING PROCEDURES:

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I	NI	NP	D
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The primary intention of the roofing inspection is to determine the general condition of the accessible roof covering materials and features. To accomplish this, the inspector will perform a visual assessment from safely accessible locations. If additional, specific limitations prevent direct access to the roof, the method of inspection and notice of further limitations will be provided. A good faith effort is made by the inspector to provide sufficient details within the report to adequately convey his or her professional findings, however, the roofing assessment and report information is not intended to be a complete and itemized list of issues. Issues which are undiscovered and/or outside the scope of work may be present. Professional opinion may vary from one specialist to the next. Verification and further analysis of the findings provided in this report are available through consultation with roofing and framing specialists (as needed). As a general recommendation, budgeting for regular maintenance, unexpected issues, and eventual material replacement needs is advised.

GENERAL RECOMMENDATIONS

– **ONGOING MONITORING/NEW CONSTRUCTION REQUIREMENTS:**

The roof system, roof coverings, attic are a critical building components. Reoccurring maintenance checks and updates will be required. Roof and attic assessments should take place bi-annually and following any inclement weather. Increased monitoring of the roof/attic should take place during the first year following construction (increased likelihood of settlement/issues arising as materials break in). Safety factors may require skilled professionals to perform routine maintenance checks and updates.

– **ENSURE PROPER CLEARANCE FROM TREES/FOLIAGE - ALL PROPERTIES:**

Any tree limbs and foliage nearing contact with the structure should be addressed as needed to ensure proper clearance and protection of the structure. Trees/foliage in or near contact with the structure is a common cause of material damage and vermin/insect entry. Ensure all branches and shrubs near the roof/structure are monitored and trimmed as needed. Large trees near or overhanging the structure may require further investigation by a skilled arborist.

– **ELIMINATE/MONITOR COMMON VERMIN ENTRY POINTS - ALL PROPERTIES:**

Eliminating and monitoring all possible moisture and vermin entry points should take place as needed and be considered an ongoing maintenance requirement. Regular checks and maintenance at the roof/exterior portions of the structure is the best defense against moisture/vermin intrusion. Eliminating common vermin bridges (tree limbs, foliage, etc.) and entry points (soffit gaps, missing/damaged vent screens, etc.) will reduce the likelihood common pest issues.

COMMON ISSUES

– **COMMON RECOMMENDATIONS AND CONCERNS:**

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Address paint overspray at roof/roof flashing and exterior wall intersections (cosmetic in nature)

-Remove spray foam overspray observed at several soffit areas

-Ensure all gaps/entry points into the attic are sealed (sealing of gaps at soffit/attic framing connection points, proper vent screening, etc.): General recommendation to reduce the likelihood of vermin and moisture entry

– **FLAT ROOF AREA - GENERAL CONCERNS:**

The flat roof at surrounding parapet walls were observed from the lower levels and the main roof ridge (unable to physically access the flat roof). Areas of concern and/or general recommendations specific to the flat roof and surrounding parapet walls include, but may not be limited to the following:

-No barrier wrap/membrane visible at upper parapet wall underneath flashing cap (viewed under cap drip edge from lower roof): Ensure seal at flashing cap intersections is well protected for long term preventative maintenance (consider intersection flashing covers)

-Flat roof drainage area appears to direct run-off down exterior wall: Further assess to determine if options are available to redirect runoff away from cladding, ensure cladding directly under drain point is well sealed and protected

I=Inspected **NI=Not Inspected** **NP=Not Present** **D=Deficient**

I **NI** **NP** **D**

-2x HVAC condensing units located under flat roof drainage point: Excess runoff may fall onto equipment during heavy rains (additional measure to protect equipment may be required)

– **INSTALLATION ISSUES OR GENERAL CONCERNS:**

Installation methods considered to be outside of best practices, common manufacturer install guidance, and general concerns were identified during the limited visual assessment of the roof coverings. A follow up investigation by a roofing expert is recommended to further inspected the areas of concern noted below, determine if additional issues are present, and create a plan of action based on their findings. Areas of concern noted during the limited assessment include, but are not limited to the following:

- Plumbing vent pipe sleeve install concerns: no boots provided, sleeve type can not be turned into pipe, appears to be a caulk dependent flashing point (increased likelihood of moisture entry over time), consider 'decktite' or similar type sleeve for improved long term protection
- Vent pipes pass through standing seams in areas (where possible, this should be avoided): Roofer to further assess to ensure no additional actions are required at this time
- Several areas of atypical crimping conditions noted (both single and double locks at single row, non-uniform crimp transitions, areas of crimping appearing to be unfinished or incomplete)
- Assess standing seams end tabs: Larger than typical gap or tears at various locations (consider additional sealant at low slope areas if determined to be warranted by roofer)
- Excess caulking applied to flashing corners in several locations (just below roofing/exterior wall intersections): Caulk dependent flashing points should be eliminated where possible
- Area of improper drain slope at flash pan of lower roof near front dormer (pooling water observed in valley flash pan)
- Recommend roofer further inspect pitch transitions at dormer areas: Pitch break/transition flashing not installed (panels bent and may be notched to make transition), further assess to ensure bending/notching does not create potential moisture entry points
- Additional flashing or sealant required at fascia areas of dormer/s: Small gaps and exposed underlayment/OSB observed at front dormer



STANDING SEAM METAL



VARIOUS PITCH TRANSITIONS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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PAINT OVERSPRAY (COSMETIC)



ADDRESS FOAM OVERSPRAY



SEAL GAPS AT FASCIA AREAS



SEAL GAPS AT FASCIA AREAS

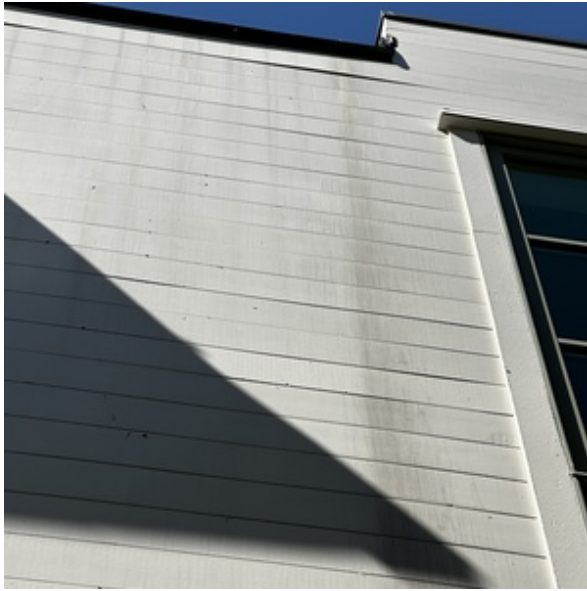
I=Inspected

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I	NI	NP	D
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FLAT ROOF RUNOFF ON WALL



EQUIP. UNDER FLAT ROOF DRAIN POINT



POSSIBLE CAULK DEPENDENT FLASHING



POSSIBLE CAULK DEPENDENT FLASHING

I=Inspected

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I	NI	NP	D
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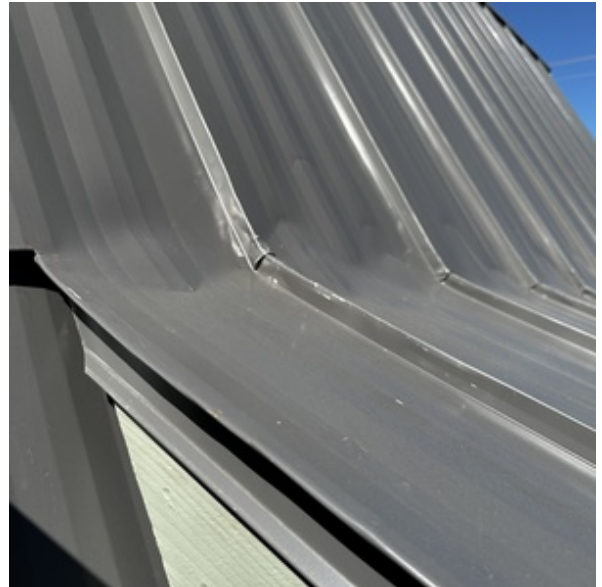
CRIMPING FLAWS OBSERVED



CRIMPING FLAWS/CONCERNS



POOLING WATER AT FLASH PAN



PANELS BENT AT PITCH TRANSITION

I=Inspected

NI=Not Inspected

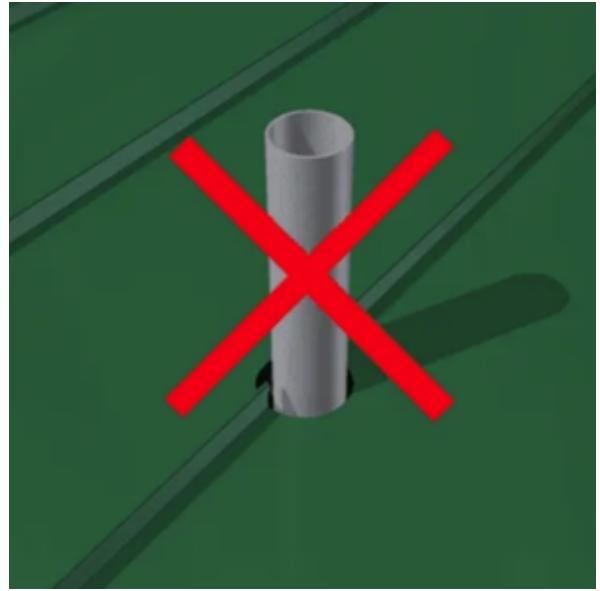
NP=Not Present

D=Deficient

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PENETRATIONS THROUGH SEAMS



AVOID SEAM BREAKS WHEN POSSIBLE



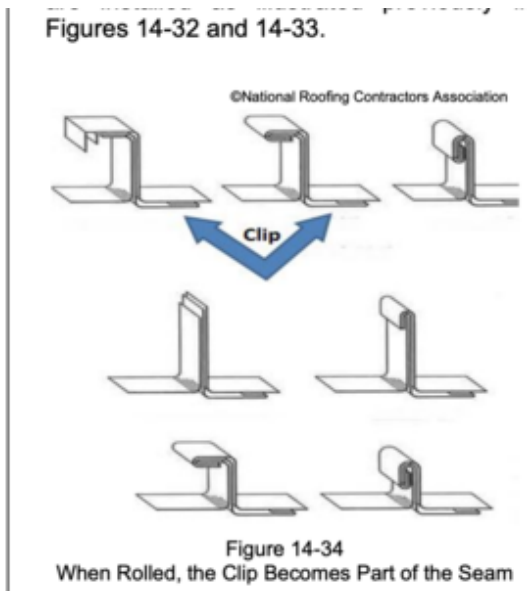
VENT BOOT/SLEEVE CONCERNS



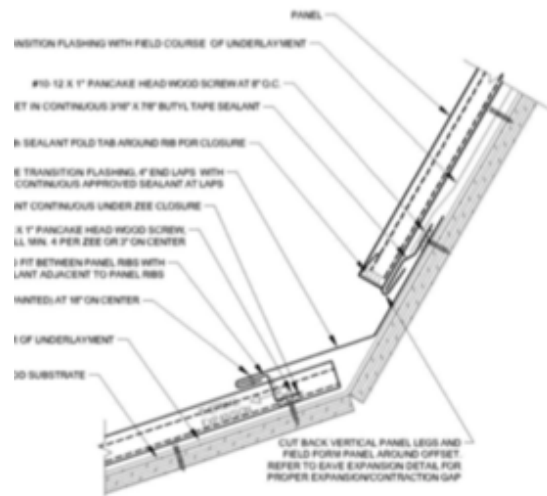
APPEARS CAULK DEPENDENT

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



EXAMPLE: SEAM CRIMPING



EXAMPLE: TRANSITION FLASH

D. Roof Structures and Attics

GENERAL STATEMENTS

ROOF STRUCTURE INFORMATION:

- VIEWED ROOF FROM: Entered the Attic (Limited Due to Roof Pitch)
- INSULATION: Open Cell Foam
- INSULATION DEPTH: At/Near Target Depth (R-38)
- ROOF FRAMING: Stick Built
- VENTILATION: N/A - Sealed Attic
- LIMITATIONS: Visual/Access Limitations - Undiscovered Issues May Be Present
- LIMITATIONS: Visual/Access Limitations - Open Cell Foam
- SCOPE OF INSPECTION: Assess General Construction Practices - Check for Issues
- GENERAL RECOMMENDATIONS: <http://atxinspect.com/client-care>
- SYSTEM SPECIFIC RECOMMENDATIONS: Assess Yearly and After Inclement Weather
- INSPECTOR NOTES: New Construction - Elevated Monitoring Advised

ROOF STRUCTURE/ATTICS - SCOPE OF INSPECTION:

- PRIMARY INSPECTION METHOD: Visual - Determine General Condition
- FRAMING/DECKING: Assess for Errors/Issues Causing Structural Damage
- ATTIC ACCESS (MIN. ALLOWANCE): 22x30" or Based on Site Conditions
- TARGET INSULATION R-VALUE: R-38 (To Meet Current Standards)
- VENTILATION STANDARD (VENTING TO SQ. FOOTAGE): 1/150

ROOF STRUCTURE/ATTIC - FURTHER INFO AND NOTICES:

- GENERAL RECOMMENDATIONS: atxinspect.com/client-care
- TOLERANCES: Minor Flaws/Errors to be Expected (Not Specified in Report)
- TOLERANCES: Superficial/Minor Moisture Stains in Attic May Not Be Noted
- TOLERANCES: Will Vary Based on Structure Type/Age/Scope of Work
- LIMITATIONS: Visual/Access Limitations - Undiscovered Issues May Be Present
- LIMITATIONS: Minimal Attic Access (Low Roof Pitch, Single Pitched Roof)

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

INSPECTOR NOTES: Partial Supporting Details May Be Provided in Photo Gallery
INSPECTOR NOTES: New Construction - Elevated Monitoring Advised

– NOTICE OF ATTIC ACCESS LIMITATIONS:

All attic spaces present visual and access limitations. The degree of limitation will vary depending on multiple factors. As a general rule, portions of the attic which are blocked, areas in which framing/electric is fully covered by insulation, areas not equipped with walkways/catwalks, and/or areas which create a concern of personal injury or property damage (as determined by the inspector) are not accessed. In such cases, a visual inspection from accessible areas occurs (with sight improvements by use of flashlights). Undiscovered issues and areas of damage may be present at non-inspected locations. Properly budgeting for incidental repair needs is recommended to all clients and for all structures.

GENERAL RECOMMENDATIONS

– FOAM INSULATION PRESENT:

Structures provided with foam insulation typically benefit from increased energy efficiency. The insulation material requires an encapsulated attic (no ventilation). An increased degree of importance is placed on roof/attic maintenance when foam insulation is present. Any gaps and/or moisture entry points into the attic can lead to increased damage and repair costs. Ensure the roof, ceilings, and available attic spaces are monitored regularly for signs of moisture entry or damage. Any concerns should be investigated in a timely manner. Consulting with a foam insulation specialist will aid in determining what additional steps should be taken to ensure the structure remains sealed and protected. Additional information in regards to this product can be viewed at the following link:

atxinspect.com/foam-info

COMMON ISSUES

– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered the during property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Unsecured platform material at back of back attic (accessible through closet door): Properly secure all decking to reduce likelihood of fall hazards
- Unsecured lumber placed in front of HVAC equipment (1st floor attic accessible through ceiling hatch): Provide a single, properly secured maintenance platform (min. 22" platform required)
- Moisture staining, condensation build up at wood platform near condensate drain pipe (2nd floor attic accessible through ceiling hatch): Improvements to HVAC condensate drain insulation advised to reduce likelihood of moisture issues over time (may require partial removal of platform near drain)

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1ST FLOOR ATTIC



2ND FLOOR UPPER ATTIC



BACK ATTIC SPACE



MATERIALS STORED IN BACK ATTIC

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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FRAMING SUPPORTS PRESENT



FOAM APPEARS TO MEET STANDARDS



IMPROVE MAINTENANCE PLATFORM



MOISTURE CONCERN NEAR DRAIN

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

E. Walls (Interior and Exterior)

i. Interior Walls

GENERAL STATEMENTS

- INTERIOR WALLS/FEATURES - GENERAL INFORMATION:
INTERIOR WALL TYPE: Drywall and/or Approved Materials
WATER PENETRATION: Noted Below if Discovered (See Tolerances/Limitations)

INTERIOR WALLS/FEATURES - SCOPE OF INSPECTION:
PRIMARY INSPECTION METHOD: Visual - Determine General Condition
FIRE BARRIERS: Barrier Required at Garage/Living Space and Garage/Attic

INTERIOR WALLS/FEATURES - FURTHER INFO AND NOTICES:
GENERAL RECOMMENDATIONS: atxinspect.com/client-care
TOLERANCES: Minor Flaws/Errors to be Expected (Not Specified in Report)
TOLERANCES: Superficial Moisture Stains/Flaws May Not be Specified in Report
LIMITATIONS: Visual Limitations - Undiscovered Issues May Be Present
INSPECTOR NOTES: Photos Provide a Representation (Additional Issues May be Present)
INSPECTOR NOTES: Minor Cosmetic Flaws May Be 'Blue Taped'

- LIMITED THERMAL CAMERA ASSESSMENT:
EQUIPMENT USED: Flir Thermal Camera
AREAS ASSESSED: Limited Interior/Exterior
FINDINGS: Normal Readings Unless Otherwise Noted Below

GENERAL RECOMMENDATIONS

- SETTLEMENT CRACKS MAY BE PRESENT/APPEAR DURING POST-CONSTRUCTION:
Wall cracks due to structural settlement and shifting is common for newly constructed buildings (increased likelihood during the first year following project completion). Wall cracks/flaws discovered during the inspection process appeared to be mainly cosmetic in nature and not indicative of significant structural issues (less than 1/8" in width – common for building age/size/type). Any repairs to these cracks would be considered a cosmetic improvement. Ensure the structure is monitored per general maintenance guidelines. If wall cracks increase in size and/or number, further evaluation should take place. Reassessment of the building prior to the termination of builder warranty protection is advised.
NOTE: Various cosmetic/low level flaws discovered during the inspection/walk-through process will be marked with painter's tape.
- MONITOR AND MAINTAIN HIGH MOISTURE/TRAFFIC AREAS - ALL PROPERTIES:
Ensure regular maintenance (caulking/sealing) and monitoring interior wall material takes place per general guidelines. Particular importance should be applied to areas/material considered to be located in high moisture/high traffic areas (kitchens, bathrooms, material surrounding windows and egress doors, flooring transitions, etc.). Proper maintenance and occasional updating is the best protection against ongoing damage of building material and components. Ensure any current gaps at high moisture/traffic areas are properly sealed. It is advised that the buyers perform further 'walk through' assessments of the property to point out additional flaws and ensure the home finish work is completed as desired and per the builder/buyer agreement.

COMMON ISSUES

- COSMETIC FLAWS MARKED ON SITE:
Multiple cosmetic flaws were noted at the time of inspection (walls, ceilings, floors, etc.). Many flaws were marked with painter's tape to indicate areas in need of adjustment. All cosmetic flaws should be addressed per the builder/buyer agreement. It is advised that the buyers perform further 'walk through' assessments of the property to point out additional cosmetic flaws and ensure the home finish work is completed as desired and per the builder/buyer agreement.

I=Inspected **NI=Not Inspected** **NP=Not Present** **D=Deficient**

I	NI	NP	D
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– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-General cleanup/finish work needs



PROFESSIONAL INSTALLATION



PROFESSIONAL INSTALLATION



MINOR FLAWS MARKED ON SITE



MINOR FLAWS MARKED ON SITE

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

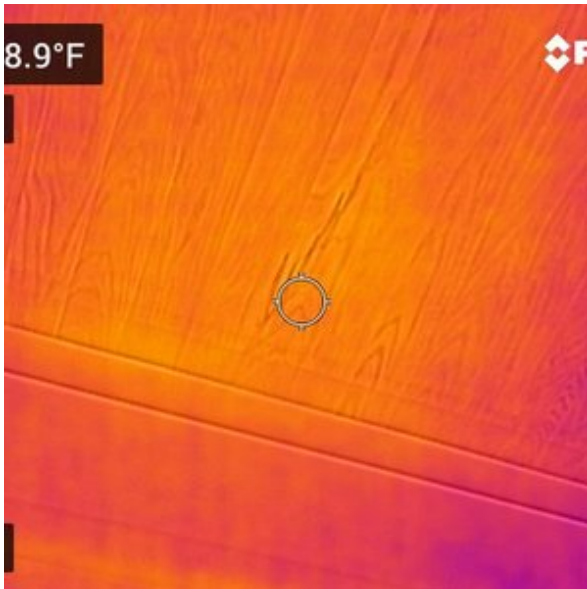
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COMMON MAKE-READY NEEDS



INCOMPLETE TRIM WORK (BATHROOM)



THERMAL CAMERA - NORMAL READINGS



THERMAL CAMERA - NORMAL READINGS

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



THERMAL CAMERA - NORMAL READINGS



THERMAL CAMERA - NORMAL READINGS

ii. Exterior Walls

GENERAL STATEMENTS

- EXTERIOR WALLS/FEATURES - GENERAL INFORMATION:
EXTERIOR WALL MATERIAL: Wood, Brick
WATER PENETRATION: Noted Below if Discovered (See Tolerances/Limitations)

EXTERIOR WALLS/FEATURES - SCOPE OF INSPECTION:
PRIMARY INSPECTION METHOD: Visual - Based on Age/Type of Material (General Condition)
STRUCTURAL RELATED ISSUES: Per Professional Opinion, Varies on Case by Case Basis
EXTERIOR CLADDINGS: Note Issues/Damage Outside Scope of Common Wear/Tear
WATER RESISTANT MATERIALS: Note Issues/Damage Outside Scope of Common Wear/Tear
FLASHING DETAILS AND PENETRATIONS: Note Moisture Entry Concerns (Where Detectible)

EXTERIOR WALLS/FEATURES - FURTHER INFO AND NOTICES:
GENERAL RECOMMENDATIONS: atxinspect.com/client-care
TOLERANCES: Minor Flaws/Errors to be Expected (Not Specified in Report)
LIMITATIONS: Visual/Access Limitations - Undiscovered Issues May Be Present
INSPECTOR NOTES: Photos Provide a Representation (Additional Issues May be Present)
INSPECTOR NOTES: Gen. Statements/Recommendations Herein Also Apply to Ceilings, Floors, Doors Chapter
INSPECTOR NOTES: Minor Cosmetic Flaws May Be 'Blue Taped'

- LIMITED THERMAL CAMERA ASSESSMENT:
EQUIPMENT USED: Flir Thermal Camera
AREAS ASSESSED: Limited Interior/Exterior
FINDINGS: Normal Readings Unless Otherwise Noted Below

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

GENERAL RECOMMENDATIONS

– ONGOING MONITORING/MAINTENANCE REQUIREMENTS - ALL PROPERTIES:

Per general maintenance advise, caulking/sealing improvements should take place at exterior walls and trim as needed. Generally, caulking, sealing, and painting updates are required every 5-7 years. Ensure the structure is monitored and maintenance checks/updates occur regularly.

NOTE: Any current caulk/sealing or other updates needs discovered during the assessment process will be noted below (in report statements and/or photo galley).

COMMON ISSUES

– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Minor make-ready / cleaning needs (left wall)
- Caulk/seal all remaining gaps at wall penetration points (pipe penetrations right side, HVAC line cap left side, etc.)
- Create gap at lower garage door trim (to prevent moisture damage over time)
- Reduced weep hole counts at portions of brick wall (example: front wall left of garage): Ensure weep hole spans meet best practices, builder standards
- See notes on roof run-off concern under flat roof (Roof Covering chapter): Improve moisture diversion and/or ensure cladding is well sealed/protected, ensure bowing wood panels in area are not redirecting water (address as needed)
- Incomplete flashing and finish work at water heater installation area (right ext wall, cuts suggest water heaters placed after cladding installed): Inset water heaters at exteriors pass through barrier material, ensure area is provided long term protection from moisture penetration
- A cladding gap/flaw and torn barrier wrap was noted at the front facing right wall corner under the flat roof (torn barrier viewed from gap w/ flashlight): Updates are advised to eliminate this potential moisture entry point



OVERALL CONDITION MEETS STANDARDS



OVERALL CONDITION MEETS STANDARDS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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RETAINING WALL PROVIDED



MINOR CLEANING NEEDS



CAULK/SEAL AT PENETRATIONS



CAULK/SEAL AT HVAC LINE CAP

I=Inspected

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D=Deficient

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CREATE GAP AT TRIM



AREA OF ROOF RUN-OFF



WEEP HOLES PROVIDED IN MOST AREAS



AREA OF MISSING/REDUCED WEEPHOLES

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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GAP/CUTS SURROUNDING W/H



GAP/CUTS SURROUNDING W/H



AREA OF GAP/BARRIER FLAW



CLADDING GAP NEAR BARRIER FLAW

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



THERMAL CAMERA - NORMAL READINGS



THERMAL CAMERA - NORMAL READINGS

F. Ceilings and Floors

i. Ceilings

GENERAL STATEMENTS

- CEILING MATERIALS AND FEATURES - INSPECTION INFORMATION:
PRIMARY CEILING MATERIAL: Drywall and/or Approved Materials
GENERAL INFO/RECOMMENDATIONS: 'Interior Walls' Notices Apply to This Chapter
INSPECTOR NOTES: Minor Cosmetic Flaws May Be 'Blue Taped'

GENERAL RECOMMENDATIONS

- MONITOR CEILING MATERIAL FOR UNUSUAL STAINING/DAMAGE - ALL PROPERTIES:
Regular monitoring of the ceiling finish material should take place. The appearance of unusual staining, cracking, or separation may be an indicator of more significant issues at non-accessible locations. Ensure regular maintenance and servicing of the building takes place per best practices. If areas of concern arise, a system specialist (if cause of issue is known) or a professional building inspector should be contacted.

COMMON ISSUES

- MEETS PROFESSIONAL STANDARDS - MINOR FLAWS MAY BE PRESENT:
Ceiling material and installation appears to meet professional standards. Various minor flaws may be 'blue taped' to mark areas in need of adjustment. All cosmetic flaws should be addressed per the builder/buyer agreement.
- COMMON RECOMMENDATIONS AND CONCERNS:
Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
 - An unknown feature has been installed over primary suite the tub: Request further info from builder
 - Address small gaps near HVAC vents/diffusers (cosmetic only)
 - Area of wood ceiling stain in primary suite (near windows facing pool): No evidence of moisture/leak issues (noted to make homeowner aware - monitor area)
 - Secure loose recessed light within primary suite (hangs out of ceiling by appx. 1/2")

I=Inspected

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NP=Not Present

D=Deficient

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OVERALL GOOD CONDITION



WOOD STAINS APPEARS NON-PROBLEMATIC



MINOR FLAWS MARKED ON SITE



MINOR FLAWS MARKED ON SITE

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



UNKNOWN FEATURE OVER TUB



IMPROVE LIGHT SECURING

ii. Floors

GENERAL STATEMENTS

- FINISH FLOORING MATERIAL: Wood, Tile, Carpet
- GENERAL RECOMMENDATIONS: atxinspect.com/client-care
- SCOPE OF INSPECTION: Visual - Determine General Condition
- LIMITATIONS: Visual Limitations - Undiscovered Issues May Be Present
- TOLERANCES: Minor Flaws/Errors to be Expected (Not Specified in Report)
- INSPECTOR NOTES: Minor Cosmetic Flaws May Be 'Blue Taped'

COMMON ISSUES

- MEETS PROFESSIONAL STANDARDS - MINOR FLAWS MAY BE PRESENT:
Flooring material and installation appears meet professional standards. Various minor flaws may be 'blue taped' to mark areas in need of adjustment. All cosmetic flaws should be addressed per the builder/buyer agreement.
- COMMON RECOMMENDATIONS AND CONCERNS:
Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
 - Ensure all gaps at high traffic, high moisture areas are sealed: Improved preventative maintenance (example: seal small gap between main entry threshold and flooring)

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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G. Doors

GENERAL STATEMENTS

– DOORS/HARDWARE - GENERAL INFORMATION:

DOOR MATERIAL: Standard Approved Materials Unless Otherwise Stated Below

WATER PENETRATION: Noted Below if Discovered (See Tolerances/Limitations)

DOORS/HARDWARE - DOOR SPECIFIC SCOPE OF INSPECTION:

HARDWARE CONDITION/PERFORMANCE: Note Issues Outside Normal Wear/Tear

GARAGE DOORS: Note Damage Affecting Functionality/Quality, Safety Concerns

WEATHER/AIR BARRIERS: Note Missing Material or Substantial Damage

MIN. EGRESS: No Less Than 2 Egress Doors or Per Site Specific Standards

FIRE SEPARATION: 20-Minute Fire Rated Door Required at Garage/Living Space

INSPECTOR NOTES: 'Interior/Exterior Walls' Notices Apply to This Chapter

INSPECTOR NOTES: Minor Cosmetic Flaws May Be 'Blue Taped'

COMMON ISSUES

– COMMON RECOMMENDATIONS AND CONCERNS:

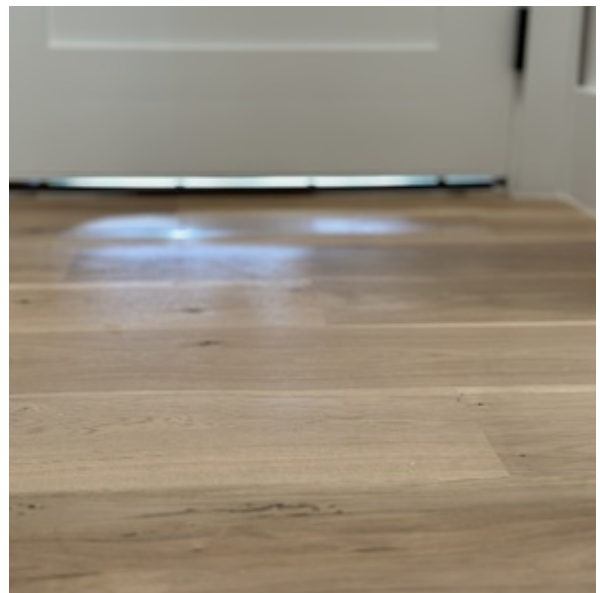
Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Minor cosmetic flaws may be present: Cosmetic flaws 'blue taped' where applicable

-Weatherstripping update needs at entry to garage (from mud room)



COMMON FLAWS MARKED ON SITE



DRAFTING AT GARAGE ENTRY

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



LOCKING ISSUES AT DOORS



LOCKING ISSUES AT DOORS

H. Windows

GENERAL STATEMENTS

- WINDOWS/HARDWARE - GENERAL INFORMATION:
WINDOW TYPE: Double Pane - Newer Generation
WATER PENETRATION: Noted Below if Discovered (See Tolerances/Limitations)

WINDOWS/HARDWARE - WINDOW SPECIFIC SCOPE OF INSPECTION:
HARDWARE CONDITION/PERFORMANCE: Note Issues Outside Normal Wear/Tear
WINDOW SCREENS: Note Missing/Damaged Screens
WEATHER/AIR BARRIERS: Note Missing Material or Substantial Damage
VISUALLY DETECTIBLE SEAL FAILURE: Noted Below if Discovered/Verified
EMERGENCY EGRESS: Current Standards Per IRC Section R310*
TEMPERED/SAFETY GLASS: Current Standards Per IRC Section R308*
FOOTNOTE*: Code/Jurisdictional Standards Vary on Case by Case Basis
INSPECTOR NOTES: 'Exterior Walls' Notices Apply to This Chapter
INSPECTOR NOTES: Minor Cosmetic Flaws May Be 'Blue Taped'

GENERAL RECOMMENDATIONS

- ENSURE PROPER FINISH WORK IS COMPLETED:
Ensure the following finish work takes place prior to the completion of the construction project:
 - Ensure screens installed, replace damaged screens if applicable
 - Professional cleaning as needed (inside and out)
 - Ensure child safety latches (prevent fully opening windows) are in place as neededNOTE: Wood framed windows require additional maintenance. Ensure windows are inspected/serviced yearly

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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COMMON ISSUES

– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- A string or wire was observed hanging from the exterior front facing stair window (viewed from roof unable to determine what the material was): Further assess and address as needed
- Missing hardware (latch) at most functional windows: Provide latches throughout
- Recheck hardware during upcoming servicing (some loose latches, safety devices)
- Several issues difficult to open, not properly latching (builder was made aware, servicing schedule): Re-test as needed
- NOTE: Most issues marked on site (painters tape with brief explanation of issue)



WOOD FRAMED WINDOWS PRESENT



WINDOWS TESTED

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



STRING OR WIRE NEAR WINDOW



RECHECK/ADJUST HARDWARE



COMMON ISSUES MARKED ON SITE



COMMON ISSUES MARKED ON SITE

I=Inspected **NI=Not Inspected** **NP=Not Present** **D=Deficient**

I **NI** **NP** **D**

I. Stairways

GENERAL STATEMENTS

– STAIRWAYS AND FEATURES - GENERAL INFORMATION:

STAIRWAY LOCATION/S: Interior and/or Exterior

STAIRWAY CONSTRUCTION: Standard Wood Framed or Approved Materials

STAIRWAYS AND FEATURES - SCOPE OF INSPECTION:

PRIMARY INSPECTION METHOD: Visual - Assess for Detectable Errors/Damage/Issues

RAIL/BALUSTER SPACING STANDARDS: 4" Diameter (Per IRC R312)*

STAIRWAY AND STAIRWAY FEATURES: Visually Assess for Errors/Damage*

STAIRWAYS AND FEATURES - FURTHER INFO AND NOTICES:

GENERAL RECOMMENDATIONS: atxinspect.com/client-care

TOLERANCES: Minor Flaws/Errors to be Expected (Not Specified in Report)

LIMITATIONS: Visual/Access Limitations - Undiscovered Issues May Be Present

FOOTNOTE*: Code/Jurisdictional Standards Vary on Case by Case Basis

FOOTNOTE*: Exhaustive Measurements Not Conducted (Visual Inspection)

INSPECTOR NOTES: Photos Provide a Representation

INSPECTOR NOTES: Exterior Stairs May Be in 'Porches and Decks' Chapter

INSPECTOR NOTES: Minor Cosmetic Flaws May Be 'Blue Taped'

COMMON ISSUES

– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

J. Fireplaces and Chimneys

GENERAL STATEMENTS

– FIREPLACES AND CHIMNEYS - GENERAL INFORMATION:

FIREPLACE TYPE/S: Manufactured (Built-In/Insert or Enclosed)

VENTING METHOD: Direct or Vertical

FIREPLACES AND CHIMNEYS - SCOPE OF INSPECTION:

PRIMARY INSPECTION METHOD: Visual - Assess for Detectable Damage/Issues

FIREPLACE MAINTENANCE: Note Substantial Creosote Build-Up at Visible Areas

FIRE SAFETY/CLEARANCE: Per IRC Table R1001* or Professional Opinion

FIRE BLOCKING: Required at Attic Penetrations (Inspection Limitations Apply)

CHIMNEY FLUE DAMPER: Verify Presence/Functionality (Limitations Apply)

LINTEL/FIREBOX: Note Substantial Physical Damage/Issues

HEARTH/HEARTH EXTENSION: Per IRC Table R1001* or Professional Opinion

FIREPLACE GAS VALVES: Present/Functional - Outside Firebox, Within 6'

COMBUSTION VENTS: Limited Assessment (Inspection Limitations Apply)

CIRCULATING FANS: Limited Assessment (Inspection Limitations Apply)

CHIMNEY STRUCTURE AND FEATURES: Note Substantial Physical Damage/Issues

FIREPLACES AND CHIMNEYS - FURTHER INFO AND NOTICES:

GENERAL RECOMMENDATIONS: atxinspect.com/client-care

TOLERANCES: Minor Flaws/Errors to be Expected (Not Specified in Report)

LIMITATIONS: Visual/Access Limitations - Undiscovered Issues May Be Present

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

FOOTNOTE*: Code/Jurisdictional Standards Vary on Case by Case Basis
FOOTNOTE*: Access Limitations May Prevent Various Portions of Inspection
INSPECTOR NOTES: Flue Integrity/Blockage Not Within Scope of Inspection
INSPECTOR NOTES: Venting/Drafting Adequacy Not Within Scope of Inspection
INSPECTOR NOTES: Minor Cosmetic Flaws May Be 'Blue Taped'
INSPECTOR NOTES: Fireplace Access Only, Chimney Viewed From a Distance (Limited Inspection)

GENERAL RECOMMENDATIONS

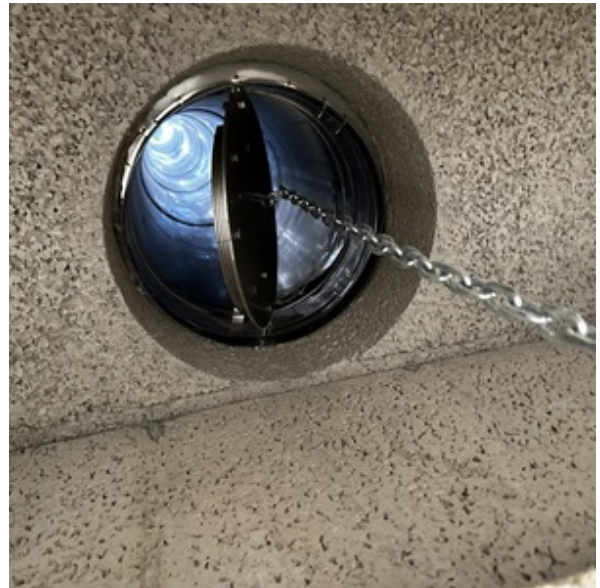
- VERIFY PROPER FUNCTIONALITY PRIOR TO USAGE - ALL PROPERTIES:
Access and scope of work limitations prevents the full verification of of fireplace, flue, and chimney functionality. Prior to usage of the fireplace, further investigation should take place to ensure the system is free of blockage or other issues that may create unsafe or problematic conditions. Further investigation services (pipe scoping camera) may be available through TAHI Inspection Services (consult with your inspector for details). Alternatively, the system can be further investigated and serviced as needed through a fireplace and chimney specialist.

COMMON ISSUES

- COMMON RECOMMENDATIONS AND CONCERNS:
Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
-Provide screen, log stand, etc. if within builder/buyer contract
-Remove/cut plastic or resin type shim at the top of the fire wall prior to usage
-NOTE: Gas/flame was not engaged. Verify proper functionality through builder.



FLUE DAMPER PROVIDED



FLUE DAMPER FUNCTIONAL

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



FIREWALL IN GOOD CONDITION



CUT/REMOVE PLASTIC SHIM

K. Porches, Balconies, Decks, and Carports

GENERAL STATEMENTS

- PORCHES, BALCONIES, DECKS AND CARPORTS - GENERAL INFORMATION:
PORCHES/DECKS Present - Concrete/Monolithic
BALCONIES: N/A
CARPORTS: N/A

PORCHES, BALCONIES, DECKS AND CARPORTS - SCOPE OF INSPECTION:
PRIMARY INSPECTION METHOD: Visual - Assess for Damage and Safety Issues
MATERIAL CONDITION/PERFORMANCE: Note Issues Outside Normal Wear/Tear
RAILING/FALL PROTECTION REQUIREMENTS: 30" or Higher (Above Soil Grade)
RAIL/BALUSTER SPACING STANDARDS: 4" Diameter (Per IRC R312)*

PORCHES, BALCONIES, DECKS, CARPORTS - FURTHER INFO AND NOTICES:
GENERAL RECOMMENDATIONS: atxinspect.com/client-care
TOLERANCES: Minor Flaws/Errors to be Expected (Not Specified in Report)
LIMITATIONS: Visual/Access Limitations - Undiscovered Issues May Be Present
FOOTNOTE*: Code/Jurisdictional Standards Vary on Case by Case Basis
INSPECTOR NOTES: 'Interior Walls' Notices Apply to This Chapter
INSPECTOR NOTES: Additional Reference Material - American Wood Council

GENERAL RECOMMENDATIONS

- ONGOING MONITORING/MAINTENANCE REQUIREMENTS - ALL PROPERTIES:
Reoccurring maintenance checks and updates will be required at exterior features to protect exposed, exterior material and prevent deterioration. Generally speaking, maintenance updates to decks and exterior features of the home are required every 5-7 years or as needed. In most cases, monitoring and general maintenance can be performed by the home owner and/or a general maintenance specialist (handyman). Exterior features which are elevated in height, pose specific safety concerns, or are in a state of disrepair may require specific skilled professionals to address update needs.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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NOTE: Any current caulk/sealing or other updates needs discovered during the assessment process will be noted below (in report statements and/or photo galley).

COMMON ISSUES

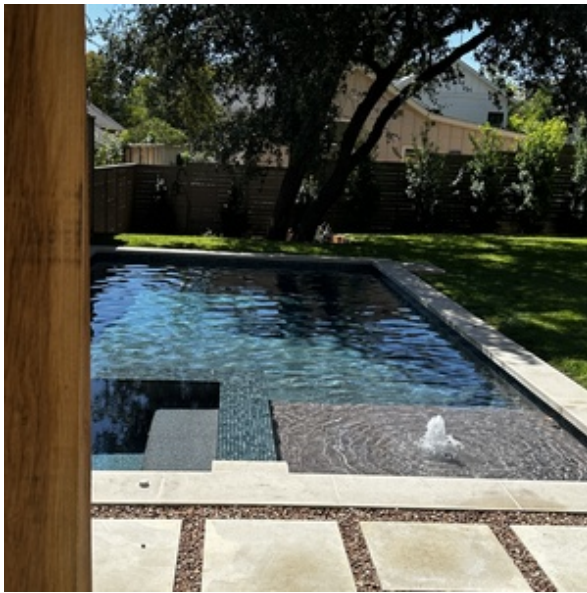
– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Remove bird nest from front porch porch roof beam area
- Cosmetic surfaces flaws noted within garage: Cause unknown, no repairs recommended at this time
- Recommend improved column to beam connections: Current connection is by way of toe-nailing, architectural straps similar would be considered a general improvement
- Update as needed if wind bracing plans call for clips or ties at porch rafter/beam connections

– BOWED AND TWISTED COLUMN:

A bowed and twisted column at the back porch was discovered. Although the flaw in its current condition does not pose a structural concern, replacement may be needed to address the uneven nature of the feature.



PORCHES/PAVERS MEET STANDARDS



HIGH END POST BASED PROVIDED

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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REMOVE BIRD NEST



GARAGE SURFACE FLAWS



CONSIDER IMPROVED CONNECTIONS



EXAMPLE: POSSIBLE STRAP IMPROVEMENT

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



BOWED/TWISTED COLUMN



BOWED/TWISTED COLUMN

L. Other

GENERAL STATEMENTS

- STRUCTURAL AND SYSTEM PERMIT SEARCH:
JURISDICTION WITH AUTHORITY: City of Austin
MATERIAL REFERENCE: COA - Development Services Department
OPEN/ACTIVE PERMITS: Tree and Pool Permits
NOTE: All permit searches should be considered partial and cursory.
- NALLE - WARRANTY DETAILS:
The following are excerpts from the Nalle Warranty Guidelines. These excerpts were selected by searching for items identifying conditions or situations that will void warranty protection. Additional items which may void warranty protection likely exist and are not specified in the details below:

-POSITIVE DRAINAGE AWAY FROM YOUR HOMES FOUNDATION MUST BE MAINTAINED AT ALL TIMES. NOT MAINTAINING POSITIVE DRAINAGE CAN RESULT IN FOUNDATION MOVEMENT AND EVEN THE POSSIBILITY OF FOUNDATION ISSUES. FOUNDATION ISSUES CAUSED BY FAILURE TO MAINTAIN POSITIVE DRAINAGE WILL VOID YOUR FOUNDATION WARRANTY.

-Manufactured Products. The homeowner shall use and perform periodic maintenance on all manufactured products according to the manufacturer's instructions and specifications. The misuse, abuse, neglect or other failure to follow manufacturer's specifications with regard to manufactured products may void the manufacturer's warranty. The Builder has no Builder Responsibility for Manufactured Products.

GENERAL RECOMMENDATIONS

- CLIENT NOTE - SQUARE FOOTAGE:
During a client consultation, a question of square footage was conveyed. Client would like to ensure accurate square footage is recorded. Exact square footage calculation is outside the scope of work conducted by TAHI. Below are square footage details identified during document research:

City of Austin Permit Application:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

1st floor conditioned area: 2475 Sq. Ft.
2nd floor conditioned area: 1728 Sq. Ft.
Covered parking (garage): 506 Sq. Ft.
Covered patios/decks: 422 Sq. Ft.
Total (conditioned areas): 4203 Sq. Ft.
Total (conditioned and unconditioned): 5131 Sq. Ft.
Total building coverage (building footprint): 3403 Sq. Ft.
Total impervious coverage: 4189 Sq. Ft.

City of Austin - Gross Floor Area (A-1 of Architectural Plan):
1st floor area (including masonry): 2475 Sq. Ft.
2nd floor area (including masonry): 996 Sq. Ft.

Travis County Central Appraisal District:
1st floor: 2472 Sq. Ft.
2nd floor: 1803 Sq. Ft.
Total (main area): 4275 Sq. Ft.
Total (gross building area): 9494 Sq. Ft.

COMMON ISSUES

- PERMIT RESEARCH - ISSUE AND/OR CONCERNS DISCOVERED:
Limited permit research was conducted through the city development and code enforcement department. Permit issues, discrepancies, or general concerns were noted. Further investigation and verification through the jurisdiction with authority is recommended to ensure any permit issues are addressed as needed. Issues and concerns noted during limited permit research include, but are not limited to:
-Pool permit #2022026405 BP remain in 'Active' status: Completed permits typically listed as 'Final'
-Note: An active tree permit was noted (2022049726 TP), however, certain tree related permits can remain in 'Active' status per the COA reporting methods. TAHI can not determine if the specific tree permit requires further action.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

i. Main Disconnect Panel

GENERAL STATEMENTS

- MAIN SERVICE AND PRIMARY COMPONENTS INFORMATION:
MAIN PANEL LOCATION: Exterior Wall
MAIN DISCONNECT AMPERAGE: 200A
SERVICE ENTRY: Protected Overhead Service
SERVICE MATERIAL: Properly Utilized Aluminum
GROUND ROD: Not Visible - Not Verified
PANEL BONDED: Present/Meets Standards
THERMAL CAMERA ASSESSMENT: Partial Assessment Performed
THERMAL CAMERA RESULTS: Normal Readings Unless Otherwise Noted Below
LIMITED AMP LOAD TESTING: Conducted, Normal Amp Draw Observed
DISCOVERED EVIDENCE OF ARCING: Not Discovered Unless Noted Below
DISCOVERED EVIDENCE OF HEAT DAMAGE: Not Discovered Unless Noted Below
SIGNIFICANT SAFETY CONCERNS: Not Discovered Unless Noted Below
FURTHER INFORMATION: Additional Details May Be Noted Below (Where Applicable)

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I	NI	NP	D
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SCOPE OF WORK: Per Texas Administrative Code Ch. 535 Subchapter (R) Rule §535.229

MAIN SERVICE AND PRIMARY COMPONENTS - FURTHER INFO AND NOTICES:

GENERAL RECOMMENDATIONS: atxinspect.com/client-care

TOLERANCES: Superficial Flaws Not Included in Report

TOLERANCES: Scope of Work May Vary Based on Age/Type/Location of System

LIMITATIONS: Visual Assessment - Undiscovered Issues May Be Present

LIMITATIONS: Capacity, Voltage Drop, and Similar Calculations Not Within Scope

LIMITATIONS: Tracing/Troubleshooting Issues or Concerns Not Within Scope

INSPECTOR NOTES: Partial Supporting Details May Be Provided in Photo Gallery

INSPECTOR NOTES: Limited Assessment - Undiscovered Issues May Be Present

INSPECTOR NOTES: Access May Vary By Site, Safety Concerns, etc.

– GENERAL SAFETY ADVISORY:

Electrical work is inherently dangerous. All recommendations to adjust, improve, or repair the system are intended for licensed professionals.



OVERHEAD MAIN SERVICE



SQUARE D PANEL

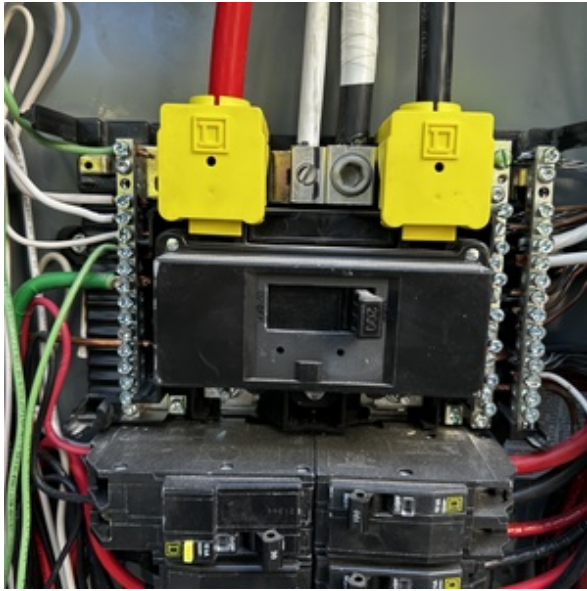
I=Inspected

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I NI NP D



200A MAIN DISCONNECT



PROPER PANEL BONDING



NORMAL AMP DRAW



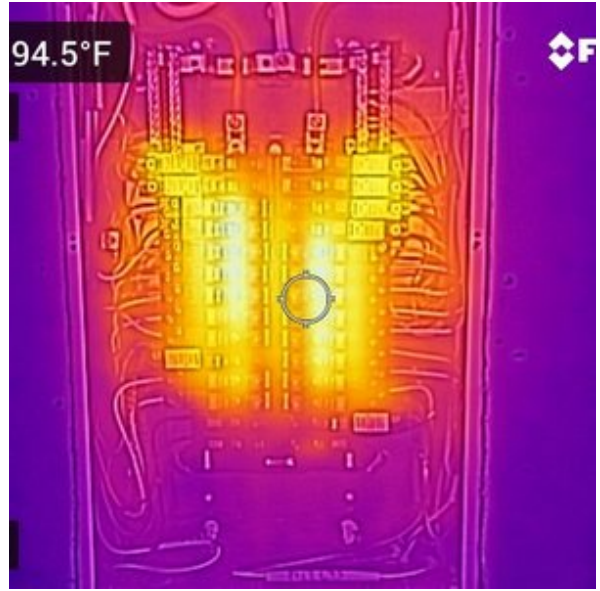
NORMAL AMP DRAW

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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THERMAL CAMERA - NORMAL READINGS



THERMAL CAMERA - NORMAL READINGS

ii. Sub Panels

GENERAL STATEMENTS

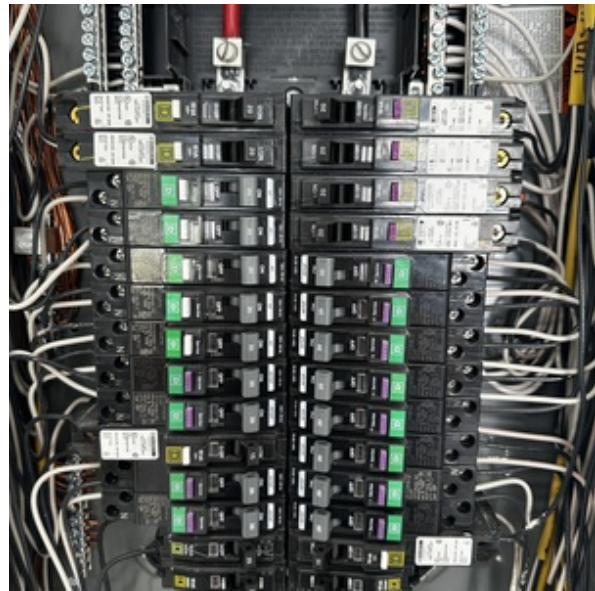
- SUB PANEL INFORMATION:
 - SUB PANEL LOCATION: Garage
 - SERVICE MATERIAL: Copper or Properly Utilized Aluminum
 - INSPECTOR NOTES: 'Main Disconnect' Notices Apply to This Chapter (Where Applicable)
 - DISCOVERED EVIDENCE OF ARCING: Not Discovered Unless Noted Below
 - DISCOVERED EVIDENCE OF HEAT DAMAGE: Not Discovered Unless Noted Below
 - SIGNIFICANT SAFETY CONCERNS: Not Discovered Unless Noted Below
 - FURTHER INFORMATION: Additional Details May Be Noted Below (Where Applicable)

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



SUB PANEL IN GARAGE



NO ARC/HEAT ISSUES DISCOVERED

iii. Distribution Wiring

GENERAL STATEMENTS

- DISTRIBUTION WIRING - GENERAL INFORMATION:
 - PRIMARY BRANCH CIRCUIT CONDUCTOR: Copper and/or Approved Material
 - ALUMINUM DISTRIBUTION WIRING DISCOVERED: Not Discovered Unless Noted Below
 - UTILITY BONDING PRESENT: Meets Construction Date Standards Unless Otherwise Noted
 - EARTH GROUNDING: Wire Present, Rod/Rod Depth Not Verified (Unless Otherwise Noted)
 - GROUND TESTING AT OUTLETS: All/Most Indicated Grounding (Unless Otherwise Noted)
 - DISCOVERED EVIDENCE OF ARCING: Not Discovered Unless Otherwise Noted Below
 - DISCOVERED EVIDENCE OF HEAT DAMAGE: Not Discovered Unless Otherwise Noted Below
 - SIGNIFICANT SAFETY CONCERNS: Not Discovered Unless Otherwise Noted Below
 - GENERAL CONDITION: Consistent With Material Age and Type Unless Otherwise Noted Below
 - GENERAL RECOMMENDATIONS: atxinspect.com/client-care

DISTRIBUTION WIRING - FURTHER INFO AND NOTICES:

- TOLERANCES: Superficial Flaws Not Included in Report
- TOLERANCES: Scope of Work May Vary Based on Age/Type/Location of System
- LIMITATIONS: Limited Visual Assessment - Undiscovered Issues May Be Present
- LIMITATIONS: False Grounding Can Not Be Ruled Out in Most Circumstances
- LIMITATIONS: Tracing/Troubleshooting Issues or Concerns Not Within Scope
- INSPECTOR NOTES: Partial Supporting Details May Be Provided in Photo Gallery
- INSPECTOR NOTES: Most Areas Inaccessible - Undiscovered Issues May Be Present
- INSPECTOR NOTES: Access May Vary By Site, Safety Concerns, etc.

COMMON ISSUES

- YELLOW JACKETED CSST BONDING NOT VERIFIED:
 - The gas piping system is comprised of CSST flex. Current standards call for additional bonding of this material. Ensure CSST bonding meets or exceeds jurisdictional requirements or best practices. Below is an excerpt from CodeNotes published by the ICC:
 - The permanent bonding of non-arc-resistant (yellow) CSST piping systems directly to the grounding electrode

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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system of the structure in which the CSST is installed serves to lower the voltage build-up on the CSST caused by unintentional energizing from outside sources such as lightning strikes. The installation of an extra bonding connection is in addition to the bonding required in IFGC Section 310.1/IRC Section G2411.1 for ground fault protection. The bonding helps achieve an equipotential state between the CSST and other similarly bonded metallic systems (such as the water piping, structural steel, electrical raceways and coax cable).



YELLOW JACKET CSST PRESENT



NO CSST BOND DISCOVERED

B. Branch Circuits, Connected Devices, and Fixtures

i. Outlets and Switches

GENERAL STATEMENTS

- OUTLETS AND DEVICES INFORMATION:
- FUNCTIONALITY TESTING: Testing Conducted at Accessible Devices
- GFCI DEVICES: Per Texas Administrative Code Ch. 535 Subchapter (R) Rule §535.229
- GFCI LOCATIONS: Meet Current Standards Unless Otherwise Noted Below
- AFCI DEVICES: Scope of Inspection Varies Based on System Age/Type (See Inspector Notes)
- GFCI DEVICE TESTING: Accessible Devices Tested/Functional Unless Otherwise Noted Below
- AFCI DEVICE TESTING: Testing Not Conducted in Most Cases (See Inspector Notes)
- LIMITATIONS: Systems Standards Vary Based on Structure Age/Location/Type

COMMON ISSUES

- COMMON RECOMMENDATIONS AND CONCERNS:
- Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
- Recommend an additional outlet for ease of connection to the BBQ rotisserie

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

ii. Fixtures

GENERAL STATEMENTS

- FIXTURE ASSESSMENT TYPE: Limited Functionality Test - Troubleshooting Not Conducted
- LIMITATIONS (WHERE APPLICABLE): Cause of Noted Issues Not Verified (Bulb/Fixture/Circuit)
- DISCOVERED EVIDENCE OF ARCING: Not Discovered Unless Noted Below
- DISCOVERED EVIDENCE OF HEAT DAMAGE: Not Discovered Unless Noted Below
- SIGNIFICANT SAFETY CONCERNS: Not Discovered Unless Noted Below

COMMON ISSUES

- COMMON RECOMMENDATIONS AND CONCERNS:
Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
-Secure loose recessed light within primary suite (hangs out of ceiling by appx. 1/2")

iii. Smoke and Fire Alarms

GENERAL STATEMENTS

- ALARM TYPES: Hardwired and/or Battery Operated
- ALARM LOCATIONS: Meet Construction Date Standards
- CO DETECTORS: Not Verified - Required at All Buildings With Gas Utility
- FUNCTIONALITY TEST: Functional During Limited Test Unless Otherwise Noted Below
- FURTHER INFORMATION: Additional Details May Be Noted Below (Where Applicable)
- GENERAL RECOMMENDATIONS/CONCERNS: See Below
- LIMITATIONS: Individual Alarms Not Tested
- LIMITATIONS: Alarm Standards Vary By Location, Date of Construction, and Structure Type

GENERAL RECOMMENDATIONS

- COMMON RECOMMENDATIONS:
Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
-Recommend addition of fire extinguishers at all bathroom cabinets (this may be outside the scope of builder requirements)
-NOTE: Fire sprinkler system not present.
- REGULAR MAINTENANCE, TESTING, AND UPDATING REQUIRED:
All alarm batteries should be replaced and systems tested regularly (per manufacturer recommendations). Replacement of alarm and suppression equipment should take place as needed or per manufacturer recommendations. Ensure alarms are present, functional, and located in all bedrooms as well as one common area per floor. Additional gas detection alarms are considered a safety improvement and mandated by most jurisdictions holding authority. Updating smoke, fire, and gas safety protection systems beyond minimum standards is highly recommended for all buildings.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

GENERAL STATEMENTS

– HEATING SYSTEM INFORMATION:

HEATING TYPE: Central

TOTAL UNITS: 3

ENERGY SOURCE: Heat Pump

MANUFACTURER: Carrier

MFG DATE: 2022/2023

MFG. WARRANTY: Up To 10 Years - Contact Manufacturer

APPX. LIFE EXPECTANCY: nachi.org/life-expectancy.htm

LOCATION: 3x Attic Spaces

GENERAL RECOMMENDATIONS

– REGISTER SYSTEM TO IMPROVE WARRANTY PROTECTION:

Requesting all system and warranty documentation from the builder is advised. Ensure all system documents are filed as needed. Registration of the HVAC equipment with the manufacturer is recommended. Often, proper registration can improve warranty protection by up to 100% (5 to 10 year protection benefits). Contact the manufacturer for further details.

– ANNUAL SERVICING REQUIRED:

Annual maintenance and service visits by a professional HVAC technician is essential to the proper functionality and longevity of the heating and cooling system. Ensure the system is serviced within the first year of occupying the building and annually thereafter. Additional recommendations/concerns, if any, should be addressed per the builder/buyer agreement.

B. Cooling Equipment

GENERAL STATEMENTS

– COOLING SYSTEM INFORMATION:

COOLING TYPE: Central

TOTAL UNITS: 3

MANUFACTURER: Carrier

MFG DATE: 2022/2023

REFRIGERANT TYPE: R410A

RECORDED TEMP DIFFERENTIAL: 20-22°F (Within General Parameters)

TOTAL TONNAGE: 7

INSPECTION LIMITATIONS: See Below

– ADDITIONAL NOTICE OF INSPECTION LIMITATIONS:

A standard HVAC inspection should be considered a cursory assessment of the system. Temperature readings and visual analysis' are designed to verify functionality of major components and determine if physical damage is present at exposed portions of the equipment.

GENERAL RECOMMENDATIONS

– ANNUAL SERVICING REQUIRED:

Annual maintenance and service visits by a professional HVAC technician is essential to the proper functionality and longevity of the heating and cooling system. Ensure the system is serviced within the first year of occupying the building and annually thereafter. Additional recommendations/concerns, if any, should be addressed per the builder/buyer agreement.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

– REGISTER SYSTEM TO IMPROVE WARRANTY PROTECTION:

Requesting all system and warranty documentation from the builder is advised. Ensure all system documents are filed as needed. Registration of the HVAC equipment with the manufacturer is recommended. Often, proper registration can improve warranty protection by up to 100% (5 to 10 year protection benefits). Contact the manufacturer for further details.

– ADVISORY OF COMMON ADJUSTMENT NEEDS:

It is common for new HVAC system to require minor updates and adjustments after regular usage begins. Ensure the system is closely monitored during the first several month after moving into the home. Any issues or concerns should be addressed per the builder/buyer agreement.

COMMON ISSUES

– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Moisture staining, condensation build up at wood platform near condensate drain pipe (2nd floor attic accessible through ceiling hatch): Improvements to HVAC condensate drain insulation advised to reduce likelihood of moisture issues over time (may require partial removal of platform near drain)



87-90F DURING TESTING



ATTIC: NORMAL CONDITIONS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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INSTALL MEETS STANDARDS



AHU: NO ISSUES DISCOVERED



NORMAL TEMPS AT PLENUMS



NORMAL TEMPS AT PLENUMS

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



START TEMP: DEMAND TESTING



SET POINT DEMAND MET



SET POINT DEMAND MET



PRIMARY SUITE (END TEST): 70F

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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VENTS: NORMAL/UNIFORM TEMPS



VENTS: NORMAL/UNIFORM TEMPS



ROOMS: NORMAL/UNIFORM TEMPS



ROOMS: NORMAL/UNIFORM TEMPS

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



ROOMS: NORMAL/UNIFORM TEMPS



ROOMS: NORMAL/UNIFORM TEMPS

C. Duct Systems, Chases, and Vents

GENERAL STATEMENTS

- DUCT SYSTEM INFORMATION:
DUCT TYPES: Flex
DAMPERS PRESENT (ZONED): 4 Zones
ELEVATED AIR LOSS: None Discovered
THERMAL CAMERA ASSESSMENT: Performed
THERMAL CAMERA RESULTS: Normal Readings
GENERAL CONDITION: Meets General Standards

GENERAL RECOMMENDATIONS

- ADVISORY OF COMMON SYSTEM VARIATIONS:
Variations of room temperature is a common occurrence in residential structures. Vent location and number, duct size, installation techniques, duct run (distance to vent), system fan speeds, energy efficiency of the home, amount of exterior walls in an area, and system quality, and myriad other items can all affect room temperature. Often, air comfort issues can not be detected until the home is fully occupied (individual comfort varies by person). If air conditioning issues exist, further analysis and investigation by an HVAC comfort specialist will be needed. Multiple options are available to address home comfort concerns.

COMMON ISSUES

- COMMON RECOMMENDATIONS AND CONCERNS:
Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



MYLAR FLEX DUCTS



DUCTS WELL SEALED



RETURNS CLEAN



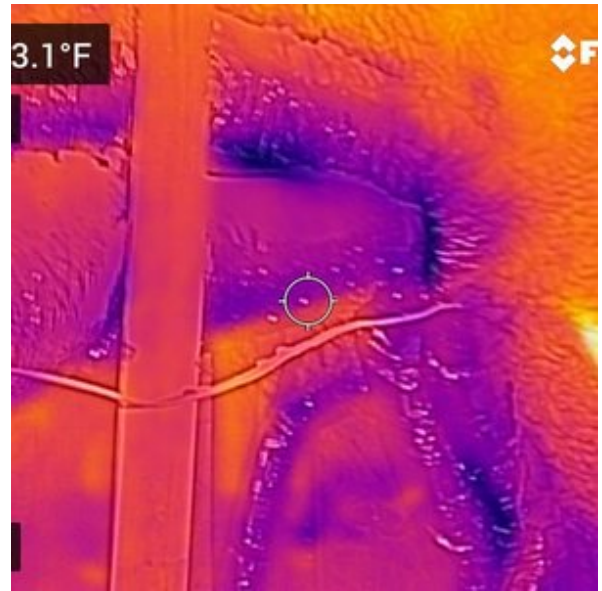
MEDIA FILTERS PROVIDED

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



THERMAL CAMERA - NORMAL READINGS



THERMAL CAMERA - NORMAL READINGS

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems and Fixtures

GENERAL STATEMENTS

– GENERAL PLUMBING SYSTEM INFORMATION:

WATER SOURCE: Public

METER LOCATION: Front Yard

PRESSURE REDUCING VALVE: Present - Not Tested

OWNER SHUT OFF: Present (Near Meter and in Garage)

INCOMING SUPPLY PRESSURE: 90-100 PSI (Outside Pressure Standards 40-80 PSI)

BACK-FLOW DEVICES: Present

APPX. AGE OF SYSTEM: Original Construction

LIMITATIONS: Inspection Limited to Accessible Portions of System

– ADDITIONAL NOTICE OF INSPECTION LIMITATIONS:

Most portions of the plumbing system are not available for visual analysis. A standard plumbing inspection should be considered a cursory assessment of the system. Visual analysis' and system tests are designed to verify functionality of major components and determine if physical damage is present at exposed portions of the equipment.

GENERAL RECOMMENDATIONS

– ENSURE SYSTEM IS MONITORED - NEW CONSTRUCTION:

An elevated degree of monitoring at the plumbing equipment and exposed connections (at sinks, commodes, etc.) is advised. Minor plumbing issues are common on newly constructed homes. Ensure plumbing areas are checked often during the first 6 months of usage and regularly thereafter (per general maintenance recommendations).

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

COMMON ISSUES

– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Adjustment needs at sink and tub stoppers (guest tub not holding water, sink stopper blocked by backsplash, etc.)

– SUPPLY PRESSURE EXCEEDS MAX LIMITS:

At the time of inspection, the water pressure entering the structure exceeded recommended maximum levels (PSI recommended to be with 40-80 pounds per square inch). Contacting a plumbing professional is recommended to determine if the installation of a pressure reducing valve or additional adjustments/updates are warranted.

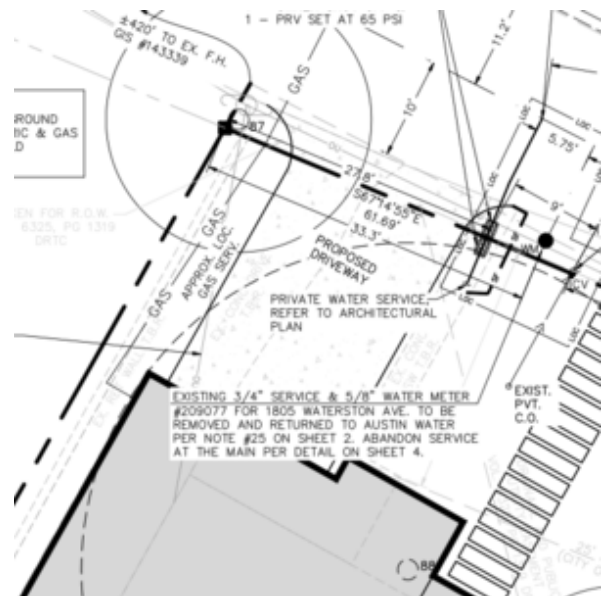
– LIMITED SUPPLY PRESSURE CHECK - MINOR PRESSURE LOSS OBSERVED:

The supply side plumbing was pressurized and isolated (cut off at main meter). The water pressure was monitored for approximately 30 minutes. Minor pressure loss was noted. Minor loss is typically caused by running commodes, dripping faucets, normal system fluctuations, or a combination of common, minor issues. No significant pressure drop occurred during this test. This partial analysis indicates no major supply side leakage was present at the time of inspection. Eliminating any minor supply water loss (as needed) is recommended to improve system efficiency and prevent any possible damage. Unless otherwise stated in this report, the exact point of pressure loss could not be verified during the limited inspection process.

NOTE: Due to standing water at front yard, it is likely that the point of water loss is related to the irrigation system.



NEW METER, VALVE, PRV REQUIRED



GAS ENTERS RIGHT SIDE OF PROPERTY

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



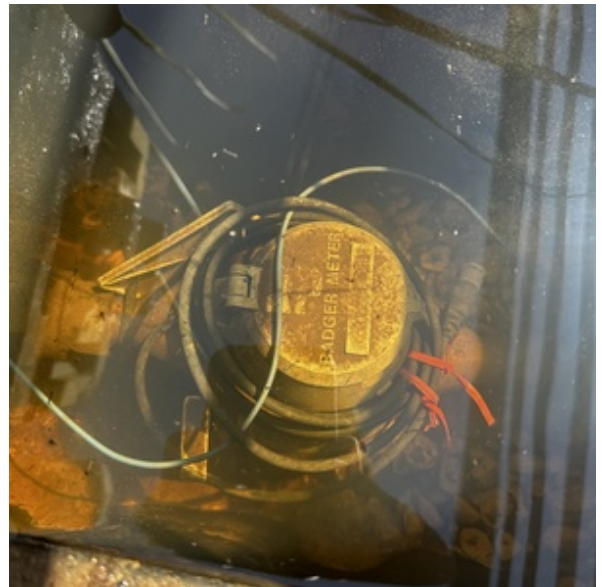
WATER SOFTENER STAGING AREA



SIMPLE WATER TESTING (HARD WATER)



COMMON STOPPER ISSUES



STANDING WATER IN METER BOX

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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STANDING WATER IN VALVE BOX



PRESSURE EXCEEDS 80 PSI



SUPPLY PRESSURE TEST FAILED

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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B. Drains, Wastes, and Vents

GENERAL STATEMENTS

– PLUMBING DRAINAGE SYSTEM INFORMATION:

SEWAGE LINE MATERIAL: PVC

MATERIAL LIFE EXPECTANCY: nachi.org/life-expectancy.htm

CLEAN OUT ACCESS PORT: Front Yard / Approved Location

DRAINAGE FLOW TEST: Performed - Proper Drainage Observed

DRAIN CAMERA ASSESSMENT: Not Performed - Not Requested

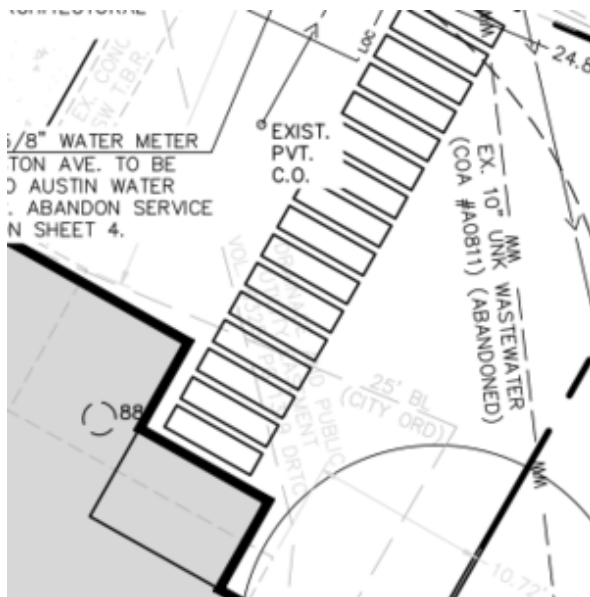
TRAPS AND VENT STACKS: Present: No Issues Discovered (Limited Visual)

EVIDENCE OF STRUCTURAL SETTLEMENT: Normal Settlement Only

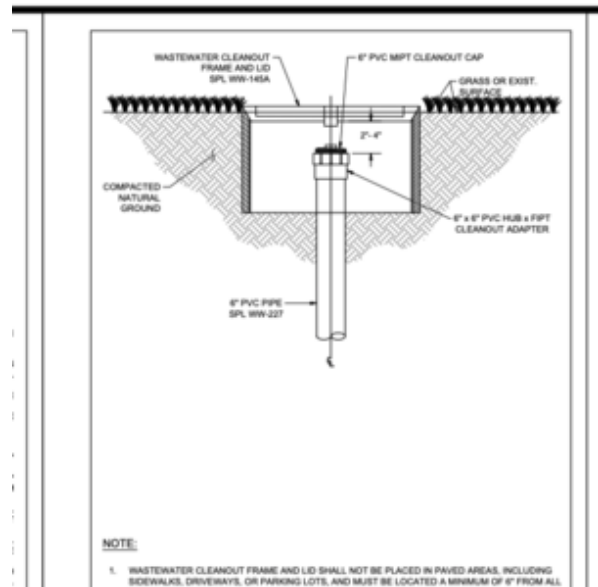
LIMITATIONS: Inspection Limited to Accessible Portions of System

– LIMITED PLUMBING DRAINAGE CHECK - NORMAL FLOW OBSERVED:

Multiple plumbing fixtures were turned on and basins filled. Water was released and viewed from the clean out access point. At the time of inspection, waste water flowing through the primary sewage line appeared to be properly exiting the structure. No evidence of significant blockage, slope issues, and/or pipe damage was discovered during this limited, visual assessment of the plumbing drainage.



LOCATION OF ORIGINAL CLEAN OUT



WW CLEAN OUT DETAILS

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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LONGEST PIPE RUN: 100'+



EXISTING 6" WW SERVICE TO REMAIN (COA)



CLEAN OUT RISERS - FRONT YARD



BOX NEAR CLEANOUT - PURPOSE UNKNOWN

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



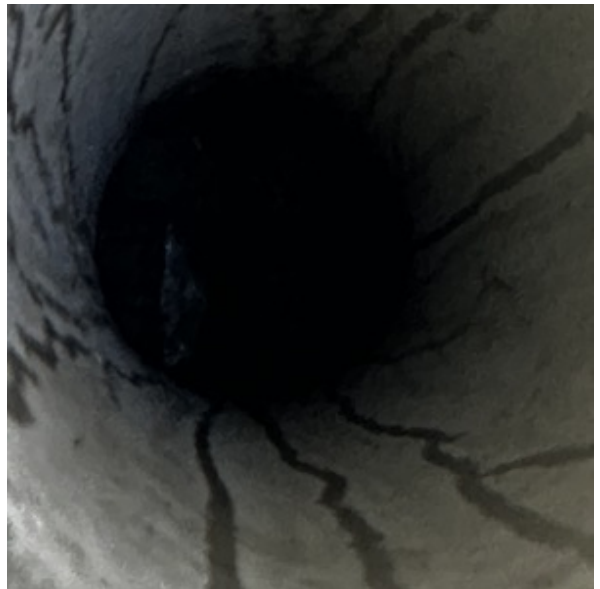
DRAIN/LEAK TESTING CONDUCTED



DRAIN/LEAK TESTING CONDUCTED



DRAIN/LEAK TESTING CONDUCTED



DRAINAGE OBSERVED AT CLEAN OUT

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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C. Water Heating Equipment

GENERAL STATEMENTS

– WATER HEATER INFORMATION

ENERGY SOURCE: Gas

TOTAL UNITS: 2

CAPACITY: Tankless

MANUFACTURER: Rinnai

MFG DATE: 2022/2023

PRESSURE RELIEF VALVE: Present - Tested

LOCATION: Ext. Wall (Right Side)

TEMPERATURE OUTPUT: 110-115°F (Recommended Output = 120 °F)

GENERAL RECOMMENDATIONS

– ANNUAL SERVICING RECOMMENDED:

Water heating systems that are not serviced/flushed regularly suffer from reduced capacity, efficiency, and functionality. Due to the high mineral content prevalent in many Central Texas water sources, the need/importance for yearly servicing and maintenance is increased. Ensure the water heater is serviced within the first year of occupying the building and annually thereafter.

COMMON ISSUES

– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Recorded average water temperature met minimum standards (above 110F, below 120F), Some isolated readings were recorded below 110F If hotter temperatures are desired, adjustments to mixing valves or deleting 120F max settings may be needed (deleting 120F max setting may void warranty)



2X TANKLESS UNITS



CONTROLS IN GARAGE

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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AVERAGE TEMPS: 110-115F



AVERAGE TEMPS: 110-115F



AVERAGE TEMPS: 110-115F



AVERAGE TEMPS: 110-115F

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



ISOLATED LOWER TEMPS



ISOLATED LOWER TEMPS

D. Hydro-Massage Therapy Equipment

GENERAL STATEMENTS

- NOT INSPECTED - NOT PRESENT

E. Other

GENERAL STATEMENTS

- LIMITED THERMAL CAMERA ASSESSMENT:

EQUIPMENT USED: Flir Thermal Camera

AREAS ASSESSED: Limited Areas at/Near Plumbing

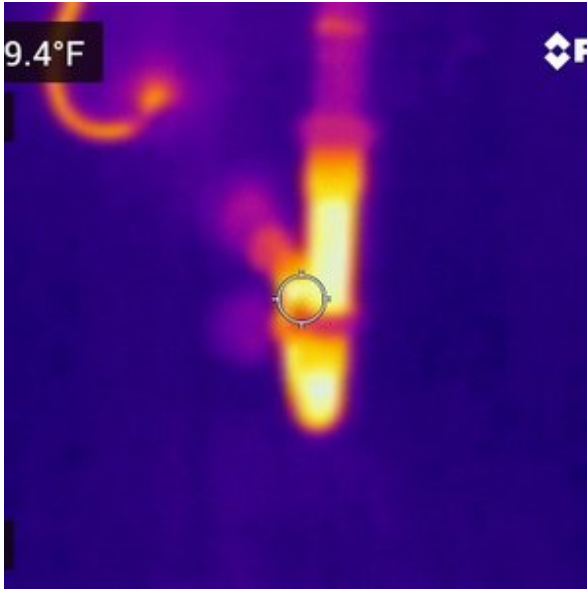
NOTE: Thermal camera equipment is employed to assist in the visual inspection of the property. Multiple equipment limitations apply. Generally speaking, thermal equipment is not designed to verify areas of damage or deficiency; but rather to aid in locating areas that may require further investigation. This equipment does not eliminate or reduce any visual limitations noted in this report, associated agreements, or TREC produced documents.

- LIMITED THERMAL CAMERA ANALYSIS - NORMAL READINGS:

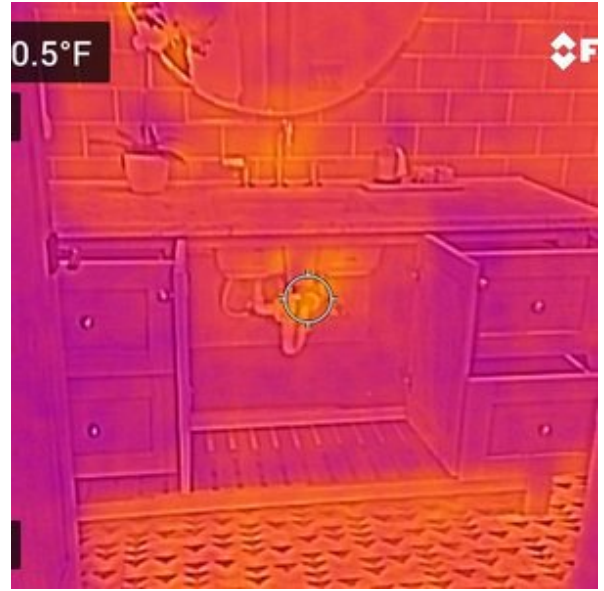
A partial thermal imaging analysis of the plumbing system and surrounding materials was conducted during the inspection of the property. The areas assessed appeared to be free from excessive temperature shifts. This suggests that the areas included in the analysis were free from detectable leakage at the time of assessment.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

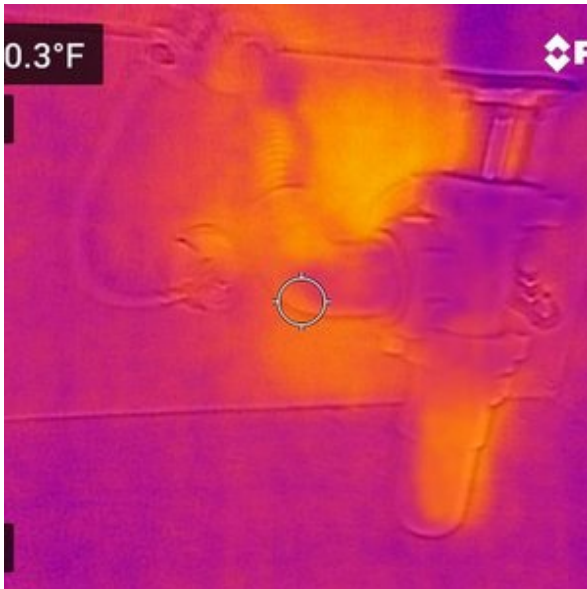
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THERMAL CAMERA - NORMAL READINGS



THERMAL CAMERA - NORMAL READINGS



THERMAL CAMERA - NORMAL READINGS

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

V. APPLIANCES

A. Dishwashers

GENERAL STATEMENTS

– PRESENT: FUNCTIONAL WHEN TESTED

B. Food Waste Disposers

GENERAL STATEMENTS

– PRESENT: FUNCTIONAL WHEN TESTED

C. Range Hood and Exhaust Systems

GENERAL STATEMENTS

– PRESENT: FUNCTIONAL WHEN TESTED

COMMON ISSUES

– COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment.

Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Unit noisy (adjust as needed)

D. Ranges, Cooktops, and Ovens

GENERAL STATEMENTS

– RANGE AND COOKTOP INFORMATION:

RANGE TYPE: Gas - Functional

OVEN TYPE: Gas - Functional

OVEN SET TO: 350 °F

OVEN REACHED: Within Normal Parameters +/- 25 °F

UNIT CONDITION: Functional When Tested

E. Microwave Ovens

GENERAL STATEMENTS

– PRESENT: FUNCTIONAL WHEN TESTED

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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F. Mechanical Exhaust Vents and Bathroom Heaters

GENERAL STATEMENTS

- PRESENT: FUNCTIONAL WHEN TESTED
- INSPECTOR NOTES: Access Limitations May Prevent Verification of Proper Venting

G. Garage Door Operators

GENERAL STATEMENTS

- PRESENT: FUNCTIONAL WHEN TESTED
- SAFETY FEATURES: MEET STANDARDS

H. Dryer Exhaust Systems

GENERAL STATEMENTS

- PRESENT: FUNCTIONALITY NOT TESTED

GENERAL RECOMMENDATIONS

- NOTICE OF LIMITATIONS AND GENERAL RECOMMENDATIONS:
Verification of proper venting and cleaning/clearing of debris was not conducted during this limited assessment.
All dryer vents should be cleared prior to usage and yearly (or as needed) to prevent damage to dryer equipment and improve fire safety.

I. Other

GENERAL STATEMENTS

- NOT INSPECTED

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

GENERAL STATEMENTS

- LIMITED FUNCTIONALITY TEST:
A limited functionality and pressure test of the sprinkler system was conducted. A single station was selected at random and the system engaged. The station functioned as intended and adequate pressure was provided.
Undiscovered issues at non-tested areas may be present.

COMMON ISSUES

- COMMON RECOMMENDATIONS AND CONCERNS:
Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
-No irrigator documents, zone maps provided (request from builder)
-Concerns of a system leak (excess standing water in front yard)
-Soil erosion surrounding back sprinkler (near steel retaining wall): Address as needed

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Swimming Pools, Spas, Hot Tubs, and Equipment

GENERAL STATEMENTS

– **POOL/SPA - GENERAL DETAILS:**

Builder/Contractor: Nalle (COA Permit Records)
Pool/Spa Type: Standard In-Ground
Age of Pool/Spa: 2022
Pool Shape: Rectangle
Basic Measurements (Pool): 29'x17'
Basic Measurements (Spa): 6'x6'
Surrounding Decking Type: Concrete
Construction Documents Present/Reviewed: Minimal Details Provided

POOL/SPA - MEP DETAILS:

Appx. Number of Pool Jets: 5-7
Number of Returns/Skimers: 1
Number of System Pumps: 2
Pump Type/s: Pentair
Filter Type/s: Pentair - D.E.
Additional Mechanical Features: Heater (Could Not Test)

POOL/SPA - ELECTRICAL/CONTROLS DETAILS:

Controls Location: Ext. Wall Right Side
Controls Type: Pentair
AFCI/GFCI Protection: Present at Controls
GFCI Outlet at Equipment: Present
Pool Lighting Provided: 2x Lights (1 Pool, 1 Spa)
Overhead Electrical Nearby: N/A

– **POOL/SPA OBSERVATIONS AND TESTING:**

Structure: Appears to Meet Standards
Pool/Spa Wall Surfaces: Appears to Meet Standards
Surrounding Decking/Coping: No Decking, Coping Meets Standards
Mechanical Staging/Equipment: Appears to Meet Standards
Electrical Equipment: Appears to Meet Standards
General Maintenance: Elevated Maintenance Will Be Required
Equipment/System Leaks: None Discovered
Below Grade Leaks: Not Within Scope of Work
Recorded Filter Pressure: Normal
Jet Pressure (Hand Testing): Normal
Return Pressure (Hand Testing): Normal
Pool Drain Safety Features: Not Determined
Water Feature/s: N/A
Blower Features: N/A
Lighting Features: Functional
Electrical Features: Functional
Vacuum: Functional

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I NI NP D

GENERAL RECOMMENDATIONS

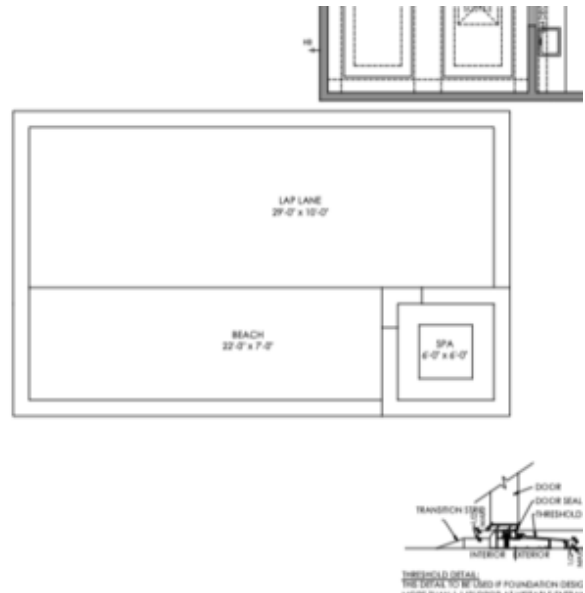
- PROFESSIONAL SERVICING ADVISED:
Pool/spa systems are high maintenance systems. Weekly servicing is advised.
NOTE: Due to tree proximity and lack of surrounding decking, maintenance needs are increased.

COMMON ISSUES

- PERMIT RESEARCH - ISSUE AND/OR CONCERNS DISCOVERED:
Limited permit research was conducted through the city development and code enforcement department. Permit issues, discrepancies, or general concerns were noted. Further investigation and verification through the jurisdiction with authority is recommended to ensure any permit issues are addressed as needed. Issues and concerns noted during limited permit research include, but are not limited to:
-Pool permit #2022026405 BP remain in 'Active' status: Completed permits typically listed as 'Final'
- COMMON RECOMMENDATIONS AND CONCERNS:
Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:
-Ensure grading around pool promotes proper runoff away from structure
-Unable to test spa heater (gas valves in place, test gauge remains in place): Verify functionality through builder
-System failed to engage in 'Service Mode' (may be connected to app): Request further info from builder
-Pool only provided a single return: Increased maintenance needs due to single return and tree coverage
-No detailed construction plans available for review (request if available)
-NOTE: Spa walls are appx. 2" over pool water surface levels (unable to determine design intentions due to a lack of drawings/details - consult with builder).
-NOTE: Ensure minimum safety standards are met. If young children occupy or visit the home, safety features should be increased.
NOTE: A 3/4" PVC pipe was protruding from the ground near the pool. We were unable to determine what the purpose of this pipe was. Recommend further inquiry with builder.



INGROUND POOL/SPA



LIMITED POOL DETAILS PROVIDED

I=Inspected

NI=Not Inspected

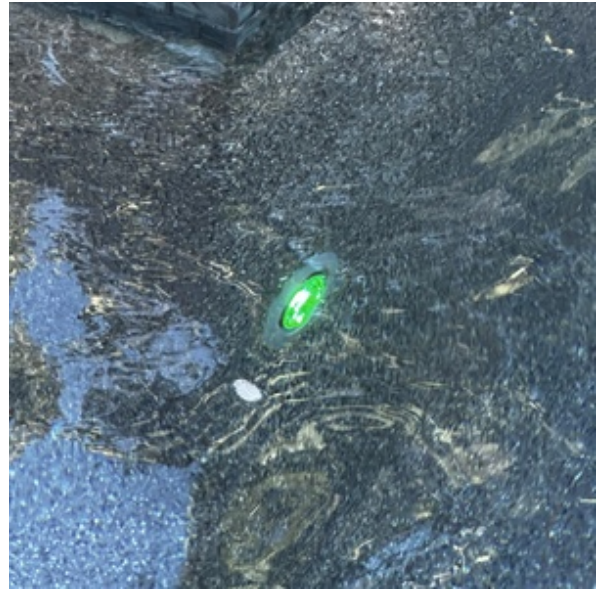
NP=Not Present

D=Deficient

I NI NP D



SUPPLY SIDE FUNCTIONAL



POOL/SPA LIGHTS FUNCTIONAL



NORMAL FILTER PRESSURE



MOTOR GROUND PRESENT

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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PIPE NEAR POOL: PURPOSE UNKNOWN



PIPE NEAR POOL: PURPOSE UNKNOWN



TREES NEAR POOL



NO SURROUNDING DECKING

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



TREES NEAR POOL, SINGLE RETURN



TREES NEAR POOL, SINGLE RETURN

C. Outbuildings

GENERAL STATEMENTS

- NOT INSPECTED: NOT PRESENT

D. Private Water Wells

GENERAL STATEMENTS

- NOT INSPECTED: NOT PRESENT

E. Private Sewage Disposal (Septic) Systems

GENERAL STATEMENTS

- NOT INSPECTED: NOT PRESENT

F. Other

GENERAL STATEMENTS

- REFERRAL INFORMATION NOTIFICATION:

The companies and tradesmen listed below are provided as a courtesy to our clients. No referral fees or compensation to TAHI Services PLLC are offered or accepted for providing this information. TAHI Services does not guarantee the workmanship or professionalism of the below listed companies. All referred companies are vetted and company research is performed prior to inclusion in this list. For a list of trade contractors and service providers, please visit the following link:
atxinspect.com/referral-info

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I NI NP D

– **ADDITIONAL DOCUMENTS PROVIDED:**

Additional maintenance and other documents have been provided. Please be aware that the information within secondary documents offer additional recommendations and notifications that are critical to proper maintenance and protection of the building.

Per TREC requirements, a TREC 7-6 inspection report form has been provided in addition to this TREC 7-5 inspection report form. All details specific to the inspected property are provided herein. General details are included in the TREC 7-6.

– **TEXAS REAL ESTATE COMMISSION:**

www.atxinspect.com/trec-info

– **HELPFUL LINKS - MAINTENANCE REMINDERS AND SYSTEM INFORMATION:**

-System and Material Life Expectancy, General Maintenance Advice and Maintenance Calendars:

<http://atxinspect.com/client-care>

ADDENDUM: REPORT OVERVIEW

THE SCOPE OF THE ASSESSMENT

THE SCOPE OF THE INSPECTION:

All components designated for inspection in accordance with the rules of the TEXAS REAL ESTATE COMMISSION (TREC) are inspected, except as may be noted by the “Not Inspected” or “Not Present” check boxes. Explanations for items not inspected may be in the “TREC Limitations” sections within this report.

This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvement needs will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

LIMITED INSPECTION - PLAN FOR MAINTENANCE NEEDS AND UNEXPECTED ISSUES:

Multiple limitations are present during the property inspection process. Non-discovered issues, both minor and significant, may not be documented in this report or discovered during the assessment of the structure. The inspection process is not designed to be intrusive, destructive, or all encompassing. Rather, the inspection and report represent your inspector’s professional opinion in regards to the general condition of the structure and associated systems. Professional opinions may vary from one individual to the next. The inspection process and report do not represent a guarantee or warranty of any kind.

REQUEST PREVIOUS DAMAGE INFO AND INSURANCE CLAIMS:

Areas of previous damage and repair to the building may not be detectible during the inspection process.

Requesting all available information/documentation pertaining to previous damage, insurance claims, permit requests, and repairs is advised. If information regarding previous issues/updates to the property have been provided, please ensure your inspector is made aware of these items prior to the inspection process.

ONGOING MONITORING/MAINTENANCE REQUIREMENTS - ALL PROPERTIES:

Reoccurring maintenance checks and updates will be required for all properties. Preparing and following a monitoring and maintenance schedule is imperative to the proper upkeep of any structure. Budgeting for regular maintenance and unexpected repair needs is advised. For additional maintenance information and calendars, please visit: atxinspect.com/client-care

NOTICE OF INTENT:

All recommendations for further action included within this report imply the possibility of additional service and repair needs which may not be identified until follow up investigations take place by subject matter experts. It should also be noted that, in some cases, follow up investigation by applicable specialists may rule out our initial concerns and any need for further action. The inspection process is not designed to be intrusive, destructive, or all encompassing.

THE STRUCTURE IN PERSPECTIVE

WELL BUILT - WELL MANAGED PROJECT

Based on the totality of findings and information gathered during the limited inspection of the property, it is our professional opinion that the subject structure is being built in a professional manner and within commonly applied standards. Recommendations and general concerns identified herein this report are common for a project at this stage of construction. Ensure all action items are further investigated and professionally addressed as needed. Re-inspection of the building should take place as needed and/or prior to the termination of any applicable warranties.

PROPERTY WITHIN 5 YEARS OF ORIGINAL CONSTRUCTION:

The inspected property has been recently constructed (under 5 years since original build date). Due to the lack of historical data and exposure to various weather/seasonal conditions, an elevated need to monitor newly constructed buildings is required. Recently built structures may continue to settle and mechanical features are more likely to require adjustments/improvements as components are operated on a regular basis (broken in). Ensure the building is properly monitored, maintained, and serviced yearly or as prescribed per general maintenance guidelines. Additional maintenance information and calendars can be viewed at: www.atxinspect.com/client-care

COMPLEX BUILDING DESIGN:

Due to the size of the building/property, ongoing maintenance needs and budgets to maintain/operate the home will be elevated when

compared to standard residential properties. The complex nature of the building increases the likelihood of unexpected issues and repair needs. It is strongly advised that the building owner engage the services of a professional building maintenance firm to conduct ongoing maintenance and inspections. Additionally, we advise that you engage our firm to conduct yearly building audits/inspections. Contact information for a professional maintenance firm can be provided at the client's request.

ADDENDUM: REPORT SYNOPSIS

The following is a synopsis of the recommended repairs noted in this report. Most of the recommended repairs are considered to be minor. However, there may be some potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations:

STRUCTURAL SYSTEMS

Foundations

REQUEST VERIFICATION OF STRUCTURAL WARRANTY COVERAGE:

Builder warranty documents reviewed by TAHI identify proper grading and drainage as a requirement. Failure to maintain proper grading and drainage will void structural warranty protections. Areas of marginal grade slope and minimal drainage features were noted during the site assessment (based on general standards and details provided in a geotechnical engineering report).

Additional grading and drainage information/recommendations are provided in the following chapter. Additional grading and drainage information/recommendations are provided in the following chapter. Ensure all grading/drainage conditions meet standards set forth in submitted engineering reports and/or best practices. Additionally, we recommend that further verification from the builder be requested to ensure that grading and drainage features, at the completion of the project, is sufficient to meet engineering and warranty standards (provided proper ongoing maintenance is conducted). Below are excerpts from the Nalle warranty documents and geotechnical engineering reports.

NALLE WARRANTY DETAILS (PAGE 3):

"POSITIVE DRAINAGE AWAY FROM YOUR HOMES FOUNDATION MUST BE MAINTAINED AT ALL TIMES. NOT MAINTAINING POSITIVE DRAINAGE CAN RESULT IN FOUNDATION MOVEMENT AND EVEN THE POSSIBILITY OF FOUNDATION ISSUES. FOUNDATION ISSUES CAUSED BY FAILURE TO MAINTAIN POSITIVE DRAINAGE WILL VOID YOUR FOUNDATION WARRANTY."

GEOTECHNICAL REPORT DETAILS:

Surface Drainage:

The property must be positively graded at all times to provide for rapid removal of surface water runoff from the foundation system and to prevent ponding of water under floors or seepage toward the foundation system at any time during or after construction. Ponded water will cause undesirable soil swell and loss of soil strength. As a minimum requirement, finished grades should have slopes of at least 5 percent or 6 in drop within the first 10 feet from the exterior walls to allow surface water to drain positively away from the structure. The slope gradient away from the foundation may be reduced to 3 percent for paved areas. All surface water runoff should be collected and discharged into outlets approved by the civil engineer. Landscape mounds must not interfere with this requirement. In addition, each lot should drain individually by providing positive drainage or sufficient area drains around the buildings to remove excessive surface water.

Landscape and Irrigation:

Sprinkler systems should not be installed where they may cause ponding or saturation of foundation soils within 5 feet of the walls or under a structure. Ponding or saturation of foundation soils may cause soil swell, consequent loss of strength, and movement of the foundation and slab. Irrigation of landscaped areas should be strictly limited to the amount necessary to sustain vegetation. Excessive irrigation could result in saturating, weakening, and possible swelling of foundation soils.

Grading and Drainage

Grading and Drainage (continued)

RAIN GUTTER INSTALLATION ADVISED:

The installation of rain gutters (where feasible) is recommended to improve the overall diversion of moisture away from the structure. This update would be considered a general improvement. Proper grading and drainage is essential to the overall protection and maintenance of the structure as a whole. Contacting a gutter installation specialist is advised.

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Address low spot near retaining wall in backyard (soil wash-out near sprinkler head)
- Ensure grading is uniform and promotes runoff away from pool structure

CONCERNS BASED ON GEOTECHNICAL REPORT REVIEW:

Areas of concern based on requirements set forth in the provided geotechnical report were identified. Further evaluation and response from the builder is recommended to address or clarify the following items:

Item 1 - page 11 of geotechnical report:

The property must be positively graded at all times to provide for rapid removal of surface water runoff from the foundation system and to prevent ponding of water under floors or seepage toward the foundation system at any time during or after construction. Ponded water will cause undesirable soil swell and loss of soil strength. As a minimum requirement, finished grades should have slopes of at least 5 percent or 6 in drop within the first 10 feet from the exterior walls to allow surface water to drain positively away from the structure.

Item 1 - Inspector Note:

Areas of reduced drain slope and no or unknown drainage improvements were observed (gutters, sub-grade drains, etc.). Portions of the back yard were of particular concern due to a minimal grade slope, limited drainage paths, no rain gutters, and no or unknown sub-grade drainage.

Item 2 - page 11 of geotechnical report:

All surface water runoff should be collected and discharged into outlets approved by the civil engineer.

Item 2 - Inspector Note:

Verify engineering approval as needed.

Item 3 - page 11 of geotechnical report:

Sprinkler systems should not be installed where they may cause ponding or saturation of foundation soils within 5 feet of the walls or under a structure. Ponding or saturation of foundation soils may cause soil swell, consequent loss of strength, and movement of the foundation and slab.

Irrigation of landscaped areas should be strictly limited to the amount necessary to sustain vegetation. Excessive irrigation could result in saturating, weakening, and possible swelling of foundation soils.

Item 3 - Inspector Note:

At the time of inspection, portions of the front yard were saturated (possibly due to an irrigation leak). Supply side plumbing pressure testing indicated slow water loss was occurring. Further investigation is required to identify possible points of water loss. If the soil saturation at the front yard is not irrigation leak related, steps should be taken to identify additional issues and ensure the irrigation system meets standards noted in the engineering report.

Roof Covering Materials

Roof Covering Materials (continued)

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Address paint overspray at roof/roof flashing and exterior wall intersections (cosmetic in nature)
- Remove spray foam overspray observed at several soffit areas
- Ensure all gaps/entry points into the attic are sealed (sealing of gaps at soffit/attic framing connection points, proper vent screening, etc.): General recommendation to reduce the likelihood of vermin and moisture entry

FLAT ROOF AREA - GENERAL CONCERNS:

The flat roof at surrounding parapet walls were observed from the lower levels and the main roof ridge (unable to physically access the flat roof). Areas of concern and/or general recommendations specific to the flat roof and surrounding parapet walls include, but may not be limited to the following:

- No barrier wrap/membrane visible at upper parapet wall underneath flashing cap (viewed under cap drip edge from lower roof): Ensure seal at flashing cap intersections is well protected for long term preventative maintenance (consider intersection flashing covers)
- Flat roof drainage area appears to direct run-off down exterior wall: Further assess to determine if options are available to redirect runoff away from cladding, ensure cladding directly under drain point is well sealed and protected
- 2x HVAC condensing units located under flat roof drainage point: Excess runoff may fall onto equipment during heavy rains (additional measure to protect equipment may be required)

INSTALLATION ISSUES OR GENERAL CONCERNS:

Installation methods considered to be outside of best practices, common manufacturer install guidance, and general concerns were identified during the limited visual assessment of the roof coverings. A follow up investigation by a roofing expert is recommended to further inspected the areas of concern noted below, determine if additional issues are present, and create a plan of action based on their findings. Areas of concern noted during the limited assessment include, but are not limited to the following:

- Plumbing vent pipe sleeve install concerns: no boots provided, sleeve type can not be turned into pipe, appears to be a caulk dependent flashing point (increased likelihood of moisture entry over time), consider 'decktite' or similar type sleeve for improved long term protection
- Vent pipes pass through standing seams in areas (where possible, this should be avoided): Roofer to further assess to ensure no additional actions are required at this time
- Several areas of atypical crimping conditions noted (both single and double locks at single row, non-uniform crimp transitions, areas of crimping appearing to be unfinished or incomplete)
- Assess standing seams end tabs: Larger than typical gap or tears at various locations (consider additional sealant at low slope areas if determined to be warranted by roofer)
- Excess caulking applied to flashing corners in several locations (just below roofing/exterior wall intersections): Caulk dependent flashing points should be eliminated where possible
- Area of improper drain slope at flash pan of lower roof near front dormer (pooling water observed in valley flash pan)
- Recommend roofer further inspect pitch transitions at dormer areas: Pitch break/transition flashing not installed (panels bent and may be notched to make transition), further assess to ensure bending/notching does not create potential moisture entry points
- Additional flashing or sealant required at fascia areas of dormer/s: Small gaps and exposed underlayment/OSB observed at front dormer

Roof Structures and Attics

Roof Structures and Attics (continued)

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered the during property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Unsecured platform material at back of back attic (accessible through closet door): Properly secure all decking to reduce likelihood of fall hazards
- Unsecured lumber placed in front of HVAC equipment (1st floor attic accessible through ceiling hatch): Provide a single, properly secured maintenance platform (min. 22" platform required)
- Moisture staining, condensation build up at wood platform near condensate drain pipe (2nd floor attic accessible through ceiling hatch): Improvements to HVAC condensate drain insulation advised to reduce likelihood of moisture issues over time (may require partial removal of platform near drain)

Interior Walls

COSMETIC FLAWS MARKED ON SITE:

Multiple cosmetic flaws were noted at the time of inspection (walls, ceilings, floors, etc.). Many flaws were marked with painter's tape to indicate areas in need of adjustment. All cosmetic flaws should be addressed per the builder/buyer agreement. It is advised that the buyers perform further 'walk through' assessments of the property to point out additional cosmetic flaws and ensure the home finish work is completed as desired and per the builder/buyer agreement.

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- General cleanup/finish work needs

Exterior Walls

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Minor make-ready / cleaning needs (left wall)
- Caulk/seal all remaining gaps at wall penetration points (pipe penetrations right side, HVAC line cap left side, etc.)
- Create gap at lower garage door trim (to prevent moisture damage over time)
- Reduced weep hole counts at portions of brick wall (example: front wall left of garage): Ensure weep hole spans meet best practices, builder standards
- See notes on roof run-off concern under flat roof (Roof Covering chapter): Improve moisture diversion and/or ensure cladding is well sealed/protected, ensure bowing wood panels in area are not redirecting water (address as needed)
- Incomplete flashing and finish work at water heater installation area (right ext wall, cuts suggest water heaters placed after cladding installed): Inset water heaters at exteriors pass through barrier material, ensure area is provided long term protection from moisture penetration
- A cladding gap/flaw and torn barrier wrap was noted at the front facing right wall corner under the flat roof (torn barrier viewed from gap w/ flashlight): Updates are advised to eliminate this potential moisture entry point

Ceilings

MEETS PROFESSIONAL STANDARDS - MINOR FLAWS MAY BE PRESENT:

Ceiling material and installation appears to meet professional standards. Various minor flaws may be 'blue taped' to mark areas in need of adjustment. All cosmetic flaws should be addressed per the builder/buyer agreement.

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- An unknown feature has been installed over primary suite the tub: Request further info from builder
- Address small gaps near HVAC vents/diffusers (cosmetic only)
- Area of wood ceiling stain in primary suite (near windows facing pool): No evidence of moisture/leak issues (noted to make homeowner aware - monitor area)
- Secure loose recessed light within primary suite (hangs out of ceiling by appx. 1/2")

Floors

MEETS PROFESSIONAL STANDARDS - MINOR FLAWS MAY BE PRESENT:

Flooring material and installation appears meet professional standards. Various minor flaws may be 'blue taped' to mark areas in need of adjustment. All cosmetic flaws should be addressed per the builder/buyer agreement.

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Ensure all gaps at high traffic, high moisture areas are sealed: Improved preventative maintenance (example: seal small gap between main entry threshold and flooring)

Doors

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Minor cosmetic flaws may be present: Cosmetic flaws 'blue taped' where applicable
- Weatherstripping update needs at entry to garage (from mud room)

Windows

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- A string or wire was observed hanging from the exterior front facing stair window (viewed from roof unable to determine what the material was): Further assess and address as needed
- Missing hardware (latch) at most functional windows: Provide latches throughout
- Recheck hardware during upcoming servicing (some loose latches, safety devices)
- Several issues difficult to open, not properly latching (builder was made aware, servicing schedule): Re-test as needed
- NOTE: Most issues marked on site (painters tape with brief explanation of issue)

Stairways

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

Fireplaces and Chimneys

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Provide screen, log stand, etc. if within builder/buyer contract
- Remove/cut plastic or resin type shim at the top of the fire wall prior to usage
- NOTE: Gas/flame was not engaged. Verify proper functionality through builder.

Porches, Balconies, Decks, and Carports

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the property assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Remove bird nest from front porch porch roof beam area
- Cosmetic surfaces flaws noted within garage: Cause unknown, no repairs recommended at this time
- Recommend improved column to beam connections: Current connection is by way of toe-nailing, architectural straps similar would be considered a general improvement
- Update as needed if wind bracing plans call for clips or ties at porch rafter/beam connections

BOWED AND TWISTED COLUMN:

A bowed and twisted column at the back porch was discovered. Although the flaw in its current condition does not pose a structural concern, replacement may be needed to address the uneven nature of the feature.

Other

PERMIT RESEARCH - ISSUE AND/OR CONCERNS DISCOVERED:

Limited permit research was conducted through the city development and code enforcement department. Permit issues, discrepancies, or general concerns were noted. Further investigation and verification through the jurisdiction with authority is recommended to ensure any permit issues are addressed as needed. Issues and concerns noted during limited permit research include, but are not limited to:

- Pool permit #2022026405 BP remain in 'Active' status: Completed permits typically listed as 'Final'
- Note: An active tree permit was noted (2022049726 TP), however, certain tree related permits can remain in 'Active' status per the COA reporting methods. TAHI can not determine if the specific tree permit requires further action.

Distribution Wiring

Distribution Wiring (continued)

YELLOW JACKETED CSST BONDING NOT VERIFIED:

The gas piping system is comprised of CSST flex. Current standards call for additional bonding of this material. Ensure CSST bonding meets or exceeds jurisdictional requirements or best practices. Below is an excerpt from CodeNotes published by the ICC:

The permanent bonding of non-arc-resistant (yellow) CSST piping systems directly to the grounding electrode system of the structure in which the CSST is installed serves to lower the voltage build-up on the CSST caused by unintentional energizing from outside sources such as lightning strikes. The installation of an extra bonding connection is in addition to the bonding required in IFGC Section 310.1/IRC Section G2411.1 for ground fault protection. The bonding helps achieve an equipotential state between the CSST and other similarly bonded metallic systems (such as the water piping, structural steel, electrical raceways and coax cable).

Outlets and Switches

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Recommend an additional outlet for ease of connection to the BBQ rotisserie

Fixtures

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Secure loose recessed light within primary suite (hangs out of ceiling by appx. 1/2")

HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Cooling Equipment

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Moisture staining, condensation build up at wood platform near condensate drain pipe (2nd floor attic accessible through ceiling hatch): Improvements to HVAC condensate drain insulation advised to reduce likelihood of moisture issues over time (may require partial removal of platform near drain)

Duct Systems, Chases, and Vents

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

PLUMBING SYSTEMS

Plumbing Supply, Distribution Systems and Fixtures

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Adjustment needs at sink and tub stoppers (guest tub not holding water, sink stopper blocked by backsplash, etc.)

SUPPLY PRESSURE EXCEEDS MAX LIMITS:

At the time of inspection, the water pressure entering the structure exceeded recommended maximum levels (PSI recommended to be with 40-80 pounds per square inch). Contacting a plumbing professional is recommended to determine if the installation of a pressure reducing valve or additional adjustments/updates are warranted.

LIMITED SUPPLY PRESSURE CHECK - MINOR PRESSURE LOSS OBSERVED:

The supply side plumbing was pressurized and isolated (cut off at main meter). The water pressure was monitored for approximately 30 minutes. Minor pressure loss was noted. Minor loss is typically caused by running commodes, dripping faucets, normal system fluctuations, or a combination of common, minor issues. No significant pressure drop occurred during this test. This partial analysis indicates no major supply side leakage was present at the time of inspection. Eliminating any minor supply water loss (as needed) is recommended to improve system efficiency and prevent any possible damage. Unless otherwise stated in this report, the exact point of pressure loss could not be verified during the limited inspection process.

NOTE: Due to standing water atg front yard, it is likely that the point of water loss is related to the irrigation system.

Water Heating Equipment

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Recorded average water temperature met minimum standards (above 110F, below 120F), Some isolated readings were recorded below 110F If hotter temperatures are desired, adjustments to mixing valves or deleting 120F max settings may be needed (deleting 120F max setting may void warranty)

APPLIANCES

Range Hood and Exhaust Systems

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

-Unit noisy (adjust as needed)

OPTIONAL SYSTEMS

Landscape Irrigation (Sprinkler) Systems

Landscape Irrigation (Sprinkler) Systems (continued)

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- No irrigator documents, zone maps provided (request from builder)
- Concerns of a system leak (excess standing water in front yard)
- Soil erosion surrounding back sprinkler (near steel retaining wall): Address as needed

Swimming Pools, Spas, Hot Tubs, and Equipment

PERMIT RESEARCH - ISSUE AND/OR CONCERNS DISCOVERED:

Limited permit research was conducted through the city development and code enforcement department. Permit issues, discrepancies, or general concerns were noted. Further investigation and verification through the jurisdiction with authority is recommended to ensure any permit issues are addressed as needed. Issues and concerns noted during limited permit research include, but are not limited to:

- Pool permit #2022026405 BP remain in 'Active' status: Completed permits typically listed as 'Final'

COMMON RECOMMENDATIONS AND CONCERNS:

Areas of common flaws, adjustment needs, and/or general concern were discovered during the system assessment. Ensure all recommendations and concerns are professionally addressed per the builder/buyer agreement. Areas of concern noted at the time of inspection include, but are not limited to:

- Ensure grading around pool promotes proper runoff away from structure
- Unable to test spa heater (gas valves in place, test gauge remains in place): Verify functionality through builder
- System failed to engage in 'Service Mode' (may be connected to app): Request further info from builder
- Pool only provided a single return: Increased maintenance needs due to single return and tree coverage
- No detailed construction plans available for review (request if available)
- NOTE: Spa walls are appx. 2" over pool water surface levels (unable to determine design intentions due to a lack of drawings/details - consult with builder).
- NOTE: Ensure minimum safety standards are met. If young children occupy or visit the home, safety features should be increased.

NOTE: A 3/4" PVC pipe was protruding from the ground near the pool. We were unable to determine what the purpose of this pipe was. Recommend further inquiry with builder.